

To: Spring Hill Residents

Re: Public Meetings: Governing Body, Planning Commission, Cemetery Board, Parks Advisory Board

In an effort to better protect residents and city staff, it has become necessary to adopt temporary changes to the meetings of the Spring Hill Governing Body, Planning Commission and Cemetery Board, and Parks Advisory Board.

Following recommendations from the CDC and the emergency declarations from the Johnson County health official, we will be providing access to the public as noted below and we will be limiting the number of people in a meeting to 10, including staff and elected/appointed officials. We have received and are implementing the guidance from the Kansas Attorney General regarding public meetings during an emergency declaration and are implementing that guidance to maintain compliance with the Kansas Open Meetings Act.

During this time of health emergency, we will be prudent with our business agenda and deferring action when feasible. Please note the following information regarding access to public meetings and adjusted procedures during the meetings:

- Meeting agendas and supporting documents are available at www.springhillks.gov under Agendas and Minutes
- Attendance at meeting will be limited to 10 individuals including Governing Body (or Board members) and staff
- Public access to meetings is available via phone or by the link to be provided at the City of Spring Hill website <http://www.springhillks.gov/>
- You will be able to listen to the meetings utilizing either method. The phone number along with conference ID and a website link will be posted on the city website no later than 12:00 (noon) on Thursday, June 4, 2020.
- Public comments will be accepted for agenda items only. In order to ensure that comments are available to the appropriate body, we ask that comments be submitted in writing by 12:00 (noon) on the day of the meeting to planning@springhillks.gov. Comments submitted will be read at the time of consideration of the agenda item referenced in the comments.
- The meeting Chair will announce prior to start of the meeting that all materials related to the agenda are available on the city's website, www.springhillks.gov, and that no additional materials will be provided at the meeting unless absolutely necessary.
- Audio of meetings will be placed on our website as soon as possible
- Council Chambers will be arranged for maximum attendance of 10 with seating to accommodate social distancing
- The meeting Chair will recognize all speakers to ensure those listening know who is speaking
- All votes will be by roll call
- Each motion will be clearly stated
- Each vote tally will be clearly announced
- For council meetings, the mayor will identify any scheduled executive sessions at the time of agenda approval. Any executive sessions will follow required protocol

We appreciate your patience and understanding as we continue our efforts to provide the public services you expect and need.

Jim Hendershot
City Administrator



PLANNING COMMISSION REGULAR MEETING AGENDA

THURSDAY, JUNE 4, 2020, 7:00 P.M.

SPRING HILL CIVIC CENTER
401 N. MADISON ST.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

CITIZEN PARTICIPATION – TEMPORARY MEETING PROTOCOL

This is an opportunity for those in attendance to address the Planning Commission regarding items not on the agenda.

Guest speakers are asked to fill out a "request to speak" card located on the back table by the door and hand it to staff, although the provision of a name, address or other identifying information is optional. Speakers are limited to five (5) minutes each; the Chair may adjust the time limit in-light of the number of anticipated speakers.

FORMAL COMMISSION ACTION

1. Approval of Minutes: March 5, 2020

2. Approval of Minutes: May 7, 2020

3. Lot Split (L-000019-2020)

Address/Vicinity: 19640 W. 207th St.

Applicant: Samuel Abbott

Purpose: Single family residential

4. Preliminary Plat (PLAT-000015-2020) – Spring Hill Middle School #3

Address/Vicinity: 18685 W. 191st St.

Applicant: RIC Consultant – Chip Corcoran

Purpose: Middle School

5. Final Plat (PLAT-000016-2020) – Spring Hill Middle School #3

Address/Vicinity: 18685 W. 191st St.

Applicant: RIC Consultant – Chip Corcoran

Purpose: Middle School

6. Public Hearing for Conditional Use Permit (CUP-000014-2020) – Spring Hill Middle School #3

Address/Vicinity: 18685 W. 191st St.

Applicant: Josh Erhart, PLA

Purpose: Middle School

7. Preliminary Plat (PLAT-000018-2020) – Dayton Creek, 7th Plat

Address/Vicinity: 18780 S. US169 Hwy

Applicant: Polsinelli PC – Curtis Holland

Purpose: 300 Residential Lots

8. Final Plat (PLAT-000017-2020) - Dayton Creek, 7th Plat

Address/Vicinity: 18780 S. US169 Hwy

Applicant: Polsinelli PC – Curtis Holland

Purpose: 61 Lots

9. Site Plan (SP-00013-2020) – Peach State Roofing

Address/Vicinity: 19069 S. Madison St.

Applicant: K&S Realty – Martin Kelly

Purpose: Office/Warehouse

10. Site Plan (SP-000005-2020) – Boulder Springs Community Pool

Address/Vicinity: 196th and Emerald St.

Applicant: Rose Design Build – Tyler Hiatt

Purpose: Community Pool

11. Final Plat Application (PLAT-000003-2020) – Cedar Hills Early Childhood Center

Site Plan Application (SP-000010-2019) – Cedar Hills Early Childhood Center

Address/Vicinity: 191st and Ridgeview Rd.

Applicant: Mather Company – Ron Mather

Purpose: Planned Commercial lots

DISCUSSION

REPORTS

12. The following item(s) related to Community Development were approved at the May 14, 2020 City Council meeting:

- Final Plat – Brookwood Farms, 5th Plat

13. The following item(s) related to Community Development were approved at the May 28, 2020 City Council meeting:

- Site Plan – Spring Hill Middle School #3
- Consumer Fireworks Retail Sales Permits Approved:
 - FS-000177-2020, Fireworks Mania Superstore, LLC
 - FS-000187-2020, Jake’s Fireworks, Inc.
 - FS-000190-2020, Pyro Papas
 - FS-000191-2020, Pyro Papas
 - FS-000188-2020, Eddie’s Discount Fireworks
 - FS-000189-2020, Dale Shay

ANNOUNCEMENTS FROM PLANNING COMMISSIONERS AND STAFF

ADJOURN

PUBLIC HEARING PROCEDURE

1. Chairperson opens the public hearing.
2. Commission members describe what, if any, ex-party contacts they might have had regarding this case; indicating the nature of the communication and *whom* it was with.
3. Commission members describe what, if any, conflicts of interest they may have and dismiss themselves from the hearing.
4. Staff presents a report and comments regarding the case.
5. Applicant or agent of the applicant makes brief presentation of the case or request.
6. Commission members ask for any needed clarification of the applicant or agent.
7. Public comments are solicited from the audience. Each member of the audience must fill out a Citizen Participation/Comment Form.
8. Commission members ask for any further clarifications from applicant or staff.
9. Public Hearing is closed.
10. Members deliberate the request.
11. 14-day Protest Period begins after the Planning Commission Public Hearing is closed. *

* **Protest Petitions:** Any protest petition must be filed in the Office of the Spring Hill City Clerk within 14 days from the conclusion of the public hearing held by the Planning Commission. Sample copies of protest petitions may be obtained from the City Clerk Office at 401 N. Madison St., Spring Hill, KS 66083 (913-592-3664).

City of Spring Hill, Kansas
Minutes of Planning Commission Regular Session
March 5, 2020

A Regular Session of the Planning Commission was held at the Civic Center, 401 N. Madison St., Spring Hill, Kansas on March 5, 2020. The meeting convened at 7:03 p.m. with Chairman Stephen Sly presiding, and Amy Long, Planning Secretary recording.

Commissioners in attendance: Stephen Sly
Cindy Squire
Mary Dobson
Troy Mitchell
Josh Erhart
Janell Pollom
Roger Welsh, II

Commissioners absent: Mike Denny

Staff in attendance: Patrick Burton, Director of Community Development
Amy Long, Planning Secretary

Public in attendance: Chad Eckert
Steve Owen
Bill Peterman
Rodolfo Arevalo
Kari Fisher

PLEDGE OF ALLEGIANCE

ROLL CALL

The Secretary called the roll of the Planning Commissioners. With a quorum present, the meeting commenced.

APPROVAL OF THE AGENDA

Motion by Mr. Welsh seconded by Mr. Mitchell to approve the agenda as presented.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Erhart-Aye, Pollom-Aye, Squire-Aye

Motion carried 7-0-0

CITIZEN PARTICIPATION

Members of the public are welcome to use this time to make comments about City matters that do not appear on the agenda.

Kari Fisher, resident discussed the following topics:

- Contain the Rain Johnson County
- Artwork being displayed from the Comprehensive Plan 20 years ago

- Bridge the Gap

FORMAL COMMISSION ACTION

1. Approval of Minutes from the February 6, 2020 Regular Meeting

Motion by Ms. Squire seconded by Mr. Erhart to approve the minutes as presented.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Erhart-Aye, Pollom-Aye, Squire-Aye

Motion carried 7-0-0

2. Final Plat (PLAT-000001-2020) – Woodland Ridge, VIII

Beginning of Staff Report

SPRING HILL PLANNING COMMISSION FINAL PLAT STAFF REPORT

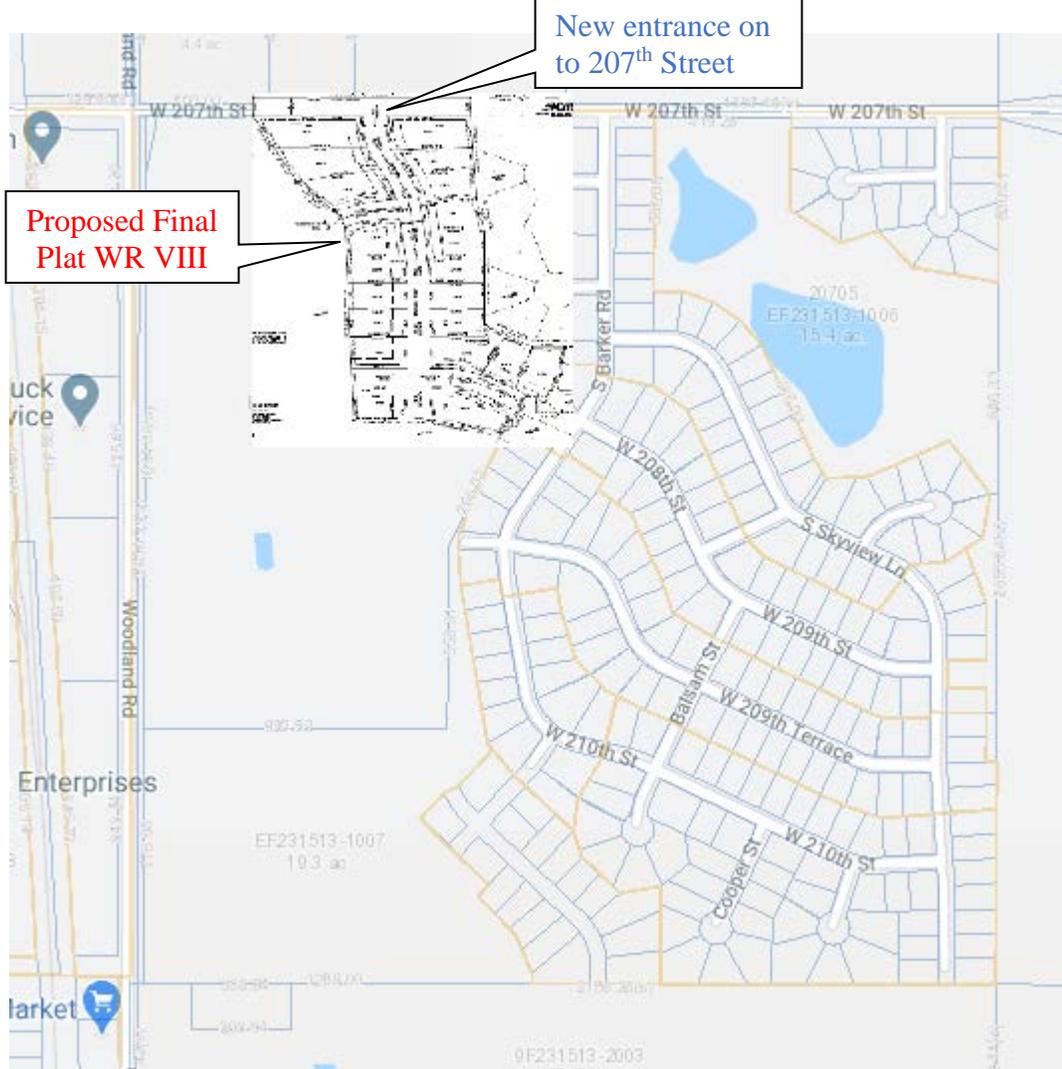
Case #: PLAT-000001-2020 **Meeting Date:** March 5, 2020
Description: Woodland Ridge VIII
Location: 207th St. & Emerald Street
Applicant: Chris George Homes, LLC.
Engineer: Allenbrand-Drews & Associates, Inc.
Site Area: 8.14 acres

Minimum Lot Area: 9,000 sq. ft. **Number of Lots:** 21

Current Zoning: “R-1” **Proposed Use:** Single-Family Residential

Related Applications: PP-02-02, FP-4-02,
FP-6-03, FP-7-03,
FP-2-04, FP-6-06,
FP-03-15, FP-02-17

THE FOLLOWING MINUTES ARE SUBJECT TO MODIFICATION
AND ARE NOT OFFICIAL MINUTES
UNTIL APPROVED BY THE SPRING HILL PLANNING COMMISSION



The developer complied with the Planning Commissions recommendation from the 2017 Final Plat of Woodland Ridge VII. The Planning Commission informed the developer that a second entrance into the subdivision needs to be implemented in the next phase.

Staff Comment:

1. Staff has submitted the proposed final plat to utility providers, consultants, Spring Hill Public Works and JOCO Fire District #2 for review and comment. Comments from Staff, Departments and consultants have been and will be implemented into the plat. Some consultant comments are to be applied with in the improvement plan submittal. Staff finds the proposed final plat in substantial compliance with the preliminary plat approved by the Planning Commission in 2002, as well as the Spring Hill Subdivision Regulations, and Comprehensive Plan.

Staff will submit a draft Improvement Agreement to the developer for review. Once approved by all parties, this Improvement Agreement will be forwarded to the Governing Body, along with final plat. Anticipated action by the Governing Body is March 26, 2020.

The applicant will need to submit the required plans/drawings showing the proposed construction of all streets, public use areas, storm water facilities, sanitary sewer lines and water lines. These drawings will be reviewed by the City Engineer, Public Works and applicable utility companies with some changes to the plat. Most of the changes will be easement oriented.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the final plat application the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

Staff recommendation:

Staff recommends approval of final plat application PLAT-000001-2020, Woodland Ridge VIII Final Plat with the following suggested motion:

Suggested motion: *Motion to recommend approval Final Plat of Woodland Ridge VIII, application PLAT-000001-2020 as presented by staff.*

End of Staff Report

Mr. Patrick Burton presented the staff report as outlined above.

Motion by Mr. Welsh seconded by Ms. Dobson to approve the minutes as presented.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Erhart-Aye, Pollom-Aye, Squire-Aye

Motion carried 7-0-0

3. Public Hearing – Zoning Ordinance

Beginning of Staff Report

AGENDA ITEM REVIEW SHEET

TO: PLANNING COMMISSION

SUBMITTED BY: PAT BURTON, COMMUNITY DEVELOPMENT DIRECTOR

MEETING DATE: MARCH 5, 2020

DATE: MARCH 3, 2020

Agenda Item: Hold a Public Hearing on the proposed amendments to the zoning regulations addressing Pawn Shops, Precious Metals and Distilleries uses in individual zoning districts.

Issue: The addition of Pawn Shops, Precious Metals and Distillery uses to the zoning regulations.

Background: The City has never listed, addressed or regulated the above uses with in the zoning regulations and ordinances. The Planning Commission has discussed the uses in several meetings.

Analysis: The Planning Commission studied the zoning districts and concluded the M-1 (General Industrial Use District) would be the proper zoning district for Pawn Shops and Precious Metals uses. The Distillery uses was not directly addressed with in the zoning regulations by name but has been comparatively identified with microbreweries shown as an approved use in the C-2 (General Business District).

Alternatives for the Planning Commission Actions: Upon the information presented in the Public Hearing and discussion by the Planning Commission a majority vote of those members present:

- Recommend approval of the zoning changes to the Governing Body, or
- Recommend denial of the zoning changes to the Governing Body, or
- Table the action zoning change action to a specific date to remand for further study

Legal Review: City Attorney, Frank Jenkins will review the proposed ordinance for the changes to the zoning regulations.

Funding Review or Budgetary Impact: N/A

Recommendation: Staff recommends approval of the proposed changes to the Unified Zoning Ordinance.

Suggested motion: *Motion to recommend approval of the changes to the Unified Zoning Ordinance adding regulations for Pawn Shops and Precious Metals in the M-1 (General Industrial District) and included the description of Distillery in the C-2 (General Commercial District).*

End of Staff Report

Mr. Burton presented the report as outlined above.

Mr. Chairman opened hearing to the public.

Kari Fisher, resident, raised concerns about the zoning district for distilleries. Her concerns were the following:

- More police involvement
- Noise
- More traffic

Bill Peterman, resident, raised concerns about the amount of grain that can be brought in for distilleries.

With no more comments from the public, Mr. Chairman closed the public hearing.

Ms. Squire and Mr. Welsh raised concerns about how a restaurant and a distillery would fit together as one business in the proposed district.

Motion by Mr. Welsh seconded by Ms. Dobson to approve the changes to the Unified Zoning Ordinance adding regulations for Pawn Shops and Precious Metals in the M-1 (General Industrial District) and included the description of Distillery in the C-2 (General Commercial District) as presented.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Erhart-Aye, Pollom-Aye, Squire-Aye

Motion carried 7-0-0

4. Election of Planning Commission Chair and Vice Chair

Mr. Sly read process of making nominations. Requested nomination from Commissioners for Chairperson. Ms. Squire nominated Mr. Sly and Mr. Mitchell seconded. Mr. Sly accepted.

Roll Call Vote: Dobson Aye, Erhart-Aye, Mitchell-Aye, Sly-Abstain, Squire-Aye, Welsh-Aye
Vote carried 6-0-1

Mr. Sly opened the nominations for Vice-Chairperson. Mr. Erhart nominated Mr. Welsh for vice-chairperson. Mr. Sly closed the nominations. Roll call vote was unanimous.

Roll Call Vote: Dobson Aye, Erhart-Aye, Mitchell-Aye, Sly-Aye, Squire-Aye, Welsh-Abstain
Vote carried 6-0-1

DISCUSSION

5. Spring Hill Middle School Site Assessment

REPORTS

6. The following item(s) related to Community Development were approved at the February 13, 2020 City Council meeting:

- No Agenda Items

7. The following item(s) related to Community Development were approved at the February 27, 2020 City Council meeting:

- No Agenda Items

The following Conditional Use Permit's had their annual review by Staff:

8. Conditional Use Permit (CU-2016-0002) Annual Staff Review – RP Automotive; located at 102 E. Nichols St.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
9. Conditional Use Permit (CU-2017-0002) Annual Staff Review – City of Spring Hill, Public Works Facility; located at 502 E. Nichols St.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
10. Conditional Use Permit (CU-2017-0004) Annual Staff Review – Jim Boeh, Ad Trend, Inc. – billboard sign; located at the NE corner of 18781 S US 169 Highway.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
11. Conditional Use Permit (CU-2017-0003) Annual Staff Review – Chris Coulson- billboard sign located at 191st St and US 169 Highway.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
12. Conditional Use Permit (CU-2018-0001) Annual Staff Review – NIPS, LLC – Concrete batch plant; located at 19001 Chestnut St.; OUT OF BUISNESS
13. Conditional Use Permit (CU-2018-0003) Annual Staff Review – Grant Merritt – Freeway frontage pole sign; located at 22399 Harrison St.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
14. Conditional Use Permit (CU-2017-0001) Annual Staff Review – Big C, LLC – car wash; located at 22361 Harrison St.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions.
15. Conditional Use Permit (CU-2018-0004) Annual Staff Review – Bettis Asphalt & Construction; located at 18900 N. Webster St.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions. – NO LONGER ONSITE
16. Conditional Use Permit (CU-2016-0001) Annual Staff Review – The Wholesome Child, LLC; located at 21901 S. Victory Rd.; Staff has reviewed the site and finds it in compliance with applicable codes and conditions. – OUT OF BUSINESS

ANNOUNCEMENTS FROM PLANNING COMMISSIONERS AND STAFF

Mr. Burton requested the Commissioners notify Staff if they plan on attending any events/meetings. Staff needs to follow the meeting requirements and notify public if a quorum maybe present even though there would be no official business conducted.

ADJOURN

Motion by Mr. Welsh, seconded by Mr. Mitchell, to adjourn.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Erhart-Aye, Pollom-Aye, Squire-Aye

Motion carried 7-0-0

The meeting adjourned at 8:37 p.m.

Temporary changes due to COVID-19. — Attendance at meetings was limited to 10 individuals including Commissioners and staff. Public comments, for agenda items only, must be submitted in writing by noon on the day of the meeting to planning@springhillks.gov. There were no comments received. Public access to the meeting was available via phone or by a link that was provided at the City of Spring Hill website www.springhillks.gov.

City of Spring Hill, Kansas Minutes of Planning Commission Regular Session May 7, 2020

A Regular Session of the Planning Commission was held at the Civic Center, 401 N. Madison St., Spring Hill, Kansas on May 7, 2020. The meeting convened at 7:03 p.m. with Chairman Stephen Sly presiding, and Amy Long, Planning Secretary recording.

Commissioners in attendance: Stephen Sly
Cindy Squire
Mary Dobson
Troy Mitchell
Janell Pollom
Roger Welsh, II

Commissioners absent: Mike Denny
Josh Erhart

Staff in attendance: Patrick Burton, Director of Community Development
Amy Long, Planning Secretary
Antwone Smoot, I.T.

PLEDGE OF ALLEGIANCE

ROLL CALL

The Secretary called the roll of the Planning Commissioners. With a quorum present, the meeting commenced.

APPROVAL OF THE AGENDA

Motion by Ms. Squire seconded by Mr. Mitchell to approve the agenda as presented.

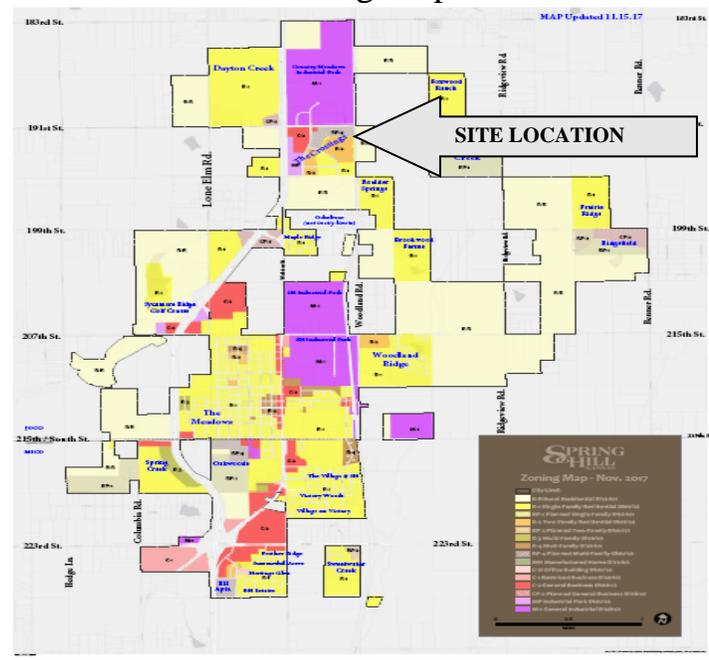
Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Pollom-Aye, Squire-Aye

Motion carried 6-0-0

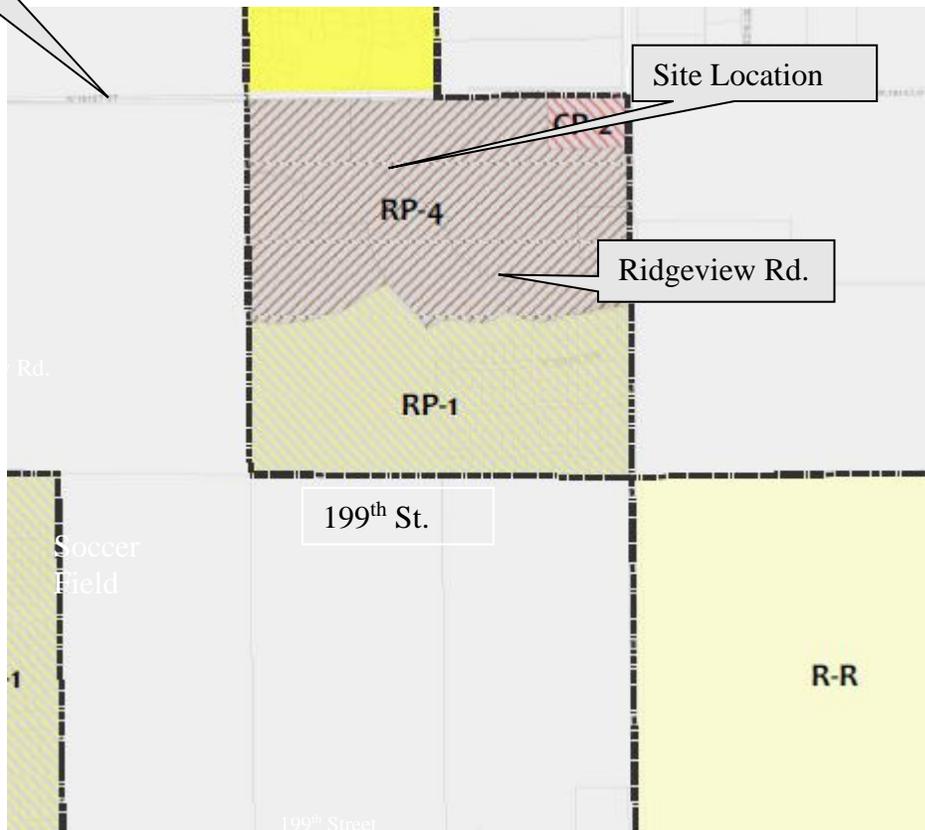
CITIZEN PARTICIPATION

Members of the public are welcome to use this time to make comments about City matters that do not appear on the agenda.

Zoning Map



191st ST.



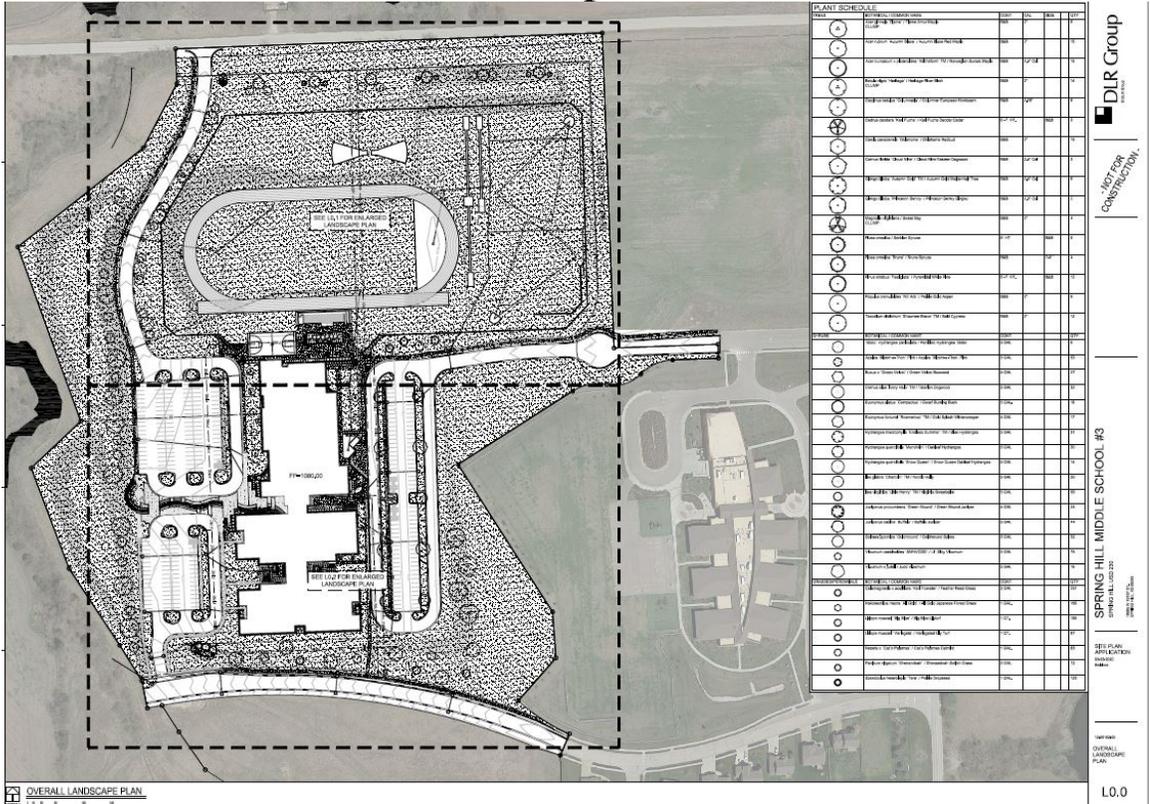
Future Land Use Map



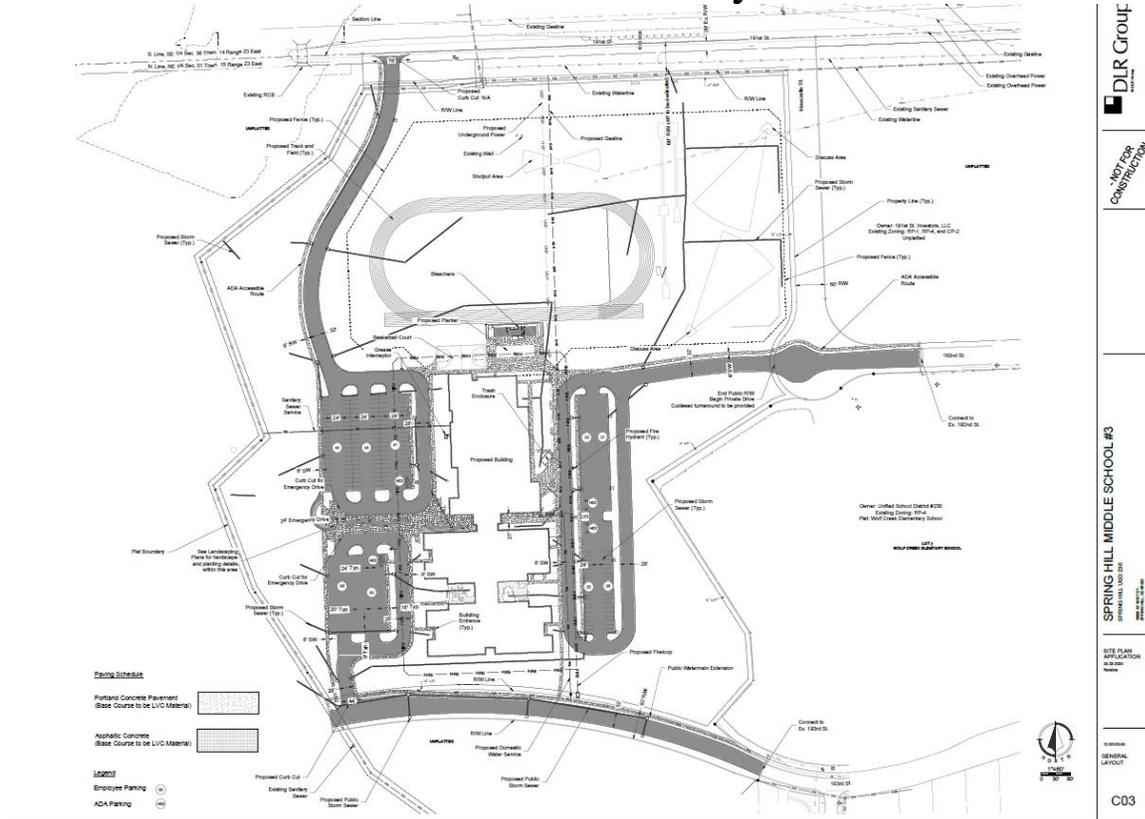
Aerial



Landscape Plan



Site Layout



Building Elevations

The image displays a set of architectural drawings for the exterior elevations of Spring Hill Middle School #3. The drawings are organized into two main sections, A5.1 and A5.2, each containing four elevation views: West, South, North, and East. The elevations are rendered in a dark, textured style, likely representing brick or stone masonry. Key features include window placements, roof lines, and structural details. Annotations such as 'ROOF TOP CORNER OFF SET', 'METAL WALL PANEL', and 'CONCRETE' are used to specify construction details. The drawings are accompanied by a vertical title block on the right side, which includes the project name 'SPRING HILL MIDDLE SCHOOL #3', the drawing title 'SITE PLAN APPLICATION FOR EXTERIOR ELEVATIONS', and the sheet identifier 'A5.1' and 'A5.2'. The logo for 'DJR Group' is also present in the title block.

WEST ELEVATION - AREAS A AND B

SOUTH ELEVATION - AREAS A

NORTH ELEVATION - AREAS A

EAST ELEVATION - AREAS A AND B

WEST ELEVATION - AREA D

SOUTH ELEVATION - AREAS C AND D

EAST ELEVATION - AREA C

WEST ELEVATION - AREAS A AND B

SOUTH ELEVATION - AREAS C AND D

EAST ELEVATION - AREAS A AND B

EAST ELEVATION - AREAS C AND D

SPRING HILL MIDDLE SCHOOL #3

SITE PLAN APPLICATION FOR EXTERIOR ELEVATIONS

A5.1

A5.2

DJR Group

NOT FOR CONSTRUCTION

BACKGROUND: The applicant, USD 230 thru their design team, the DLR Group, has submitted an application for site plan approval for a proposed building identified as the Spring Hill Middle School. The project consists of a middle school building, bus drop-off, parking, sports activity area and storm water detention.

As per Section 17.308.C.3, schools are allowed in an RP-4 (Planned Multi-Family) district with an approved Conditional Use Permit. This site is regulated under a Conditional Use Permit that will be presented at the June Planning Commission meeting.

STAFF REVIEW:

Staff has reviewed the site plan under the requirements of Section 17.340 of the Spring Hill Zoning Ordinance as follows:

- All existing structures with applicable data are identified.
- The pavement plan adequately identifies all paved areas including drive entrance, parking and traffic flow lanes.
- The traffic impact study recommends minimal improvements to 191st Street by adding turn lanes and turn lanes to 193rd Street at Ridgeview.
- Parking spaces provided are compliant with regulations including accessible spaces.
- The plan identifies appropriate sidewalks connecting to 193rd, 192nd, and up to 191st Street.
- There is exterior lighting shown for parking and drive areas. Staff has reviewed the photometric plans and study. The offsite light disbursement shows a minimal impact on the surrounding areas and is within acceptable limits. Shielding on the light fixtures will be utilized to reduce the glare where applicable. Photometric is also provided for the sports area to show minimal impact surrounding areas.
- City Staff will work with the District to ensure minimal noise pollution will occur with the use of the sports broadcast system.
- Landscaping, existing and proposed is identified on the overall landscape plan and complies with regulations. Existing trees and green space on the west property boundary will remain as identified on the plans. To enhance the visual buffer from residential properties, additional landscaping will be installed on the south side of the property as identified.
- Utilities are identified and in compliance with regulations.
- Adequate erosion and pollution control systems are identified.
- The site plan was sent out to City Staff and consultants for review. The review comments from the government agencies, consultants and utility providers will be implemented as applicable on revised plan if necessary. The applicant and their engineer have agreed to address provided comments.

- The storm water study for the improvements resulted in proposed construction of two detention basins to be provided to the west side of the property.
- The site layout and the building are designed to help protect the views from the adjacent residential housing district.

In addition to the above noted items the site plan has been reviewed for compliance with the following standards:

1. *The extent to which the proposal conforms to the provisions of the Code.*
The proposed improvements to the property are in compliance with the Code.
2. *The extent to which the proposal conforms to the provisions of the Spring Hill Subdivision Regulations.*
Schools are allowed in residential districts with an approved Conditional Use Permit (CUP) that will be reviewed for renewal as previously determined.
3. *The extent to which the development would be compatible with the surrounding area.*
There has been an elementary school in the surrounding area for several years. The school is compatible with the future land use map. It is staff's opinion the applicant has been very cognizant and considerate of the adjoining residential development and has designed the project to protect the property values, lines of sight and overall appearance of the project from the adjoining development.
4. *The extent to which the proposal conforms to the recommendations of the Spring Hill Comprehensive Plan including but not limited to the Vision Plan, the Community Development Recommendations, and the Planning and Principles and Design Guidelines.*
Appendix E of the Spring Hill Comprehensive Plan addresses the school district's growth potential and scenarios to adequately provide facilities to accommodate this growth. As the population grows, the facility's needs and uses are vital in the quest to provide proper education and services for the residents.
5. *The extent to which the proposal conforms to customary engineering standards used in the City.*
The proposed improvements have been designed by recognized and licensed architects and engineers.
6. *The extent to which the location of streets, paths, walkways, and driveways are located so as to enhance safety and minimize any adverse impact on parking and entering the building.*
Provisions and recommendations of the traffic impact study will be implemented into the design of the project to minimize any adverse impact on the property and adjoining properties.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the site plan application, the Planning Commission may by a majority vote of those members present:

- *Approval of application* with final action by the Governing Body on May 28, 2020, or
- *Denial of application* (application would be forwarded to Governing Body) on May 28, 2020, or

- *Continuance* of item to future meeting identifying specific issues to be reviewed by staff and/or the applicant.

RECOMMENDATION:

Staff recommends approval of site plan application SP-000011-2020, Spring Hill Middle School #3, as presented by Staff.

Suggested Motion: Move to recommend approval to the Spring Hill Governing Body for site plan SP-000011-2020 as presented by staff.

Attachments: Exterior Elevations
Utility Plan
Site Perspective Images
Landscape Plan

End of Staff Report

Mr. Patrick Burton presented the staff report as outlined above.

Motion by Mr. Mitchell seconded by Ms. Pollom to approve the Site Plan (SP-000011-2020 with recommendation to add turn lane at 192nd St. and 193rd St. on Ridgeview Rd. north turning west bound.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Pollom-Aye, Squire-Aye

Motion carried 6-0-0

DISCUSSION

REPORTS

3. The following item(s) related to Community Development were approved at the April 9, 2020 City Council meeting:

- No Agenda Items

4. The following item(s) related to Community Development were approved at the April 23, 2020 City Council meeting:

- No Agenda Items

ANNOUNCEMENTS FROM PLANNING COMMISSIONERS AND STAFF

ADJOURN

Motion by Mr. Mitchell, seconded by Ms. Squire, to adjourn.

Roll Call Vote: Dobson- Aye, Welsh- Aye, Sly-Aye, Mitchell- Aye, Pollom-Aye, Squire-Aye

Motion carried 6-0-0

The meeting adjourned at 8:33 p.m.

SPRING HILL PLANNING COMMISSION
LOT SPLIT STAFF REPORT

Case #: L-000019-2020 **Meeting Date:** June 4, 2020

Description: Lot Split

Location: 19640 W. 207th St.

Applicant: Samuel Abbott

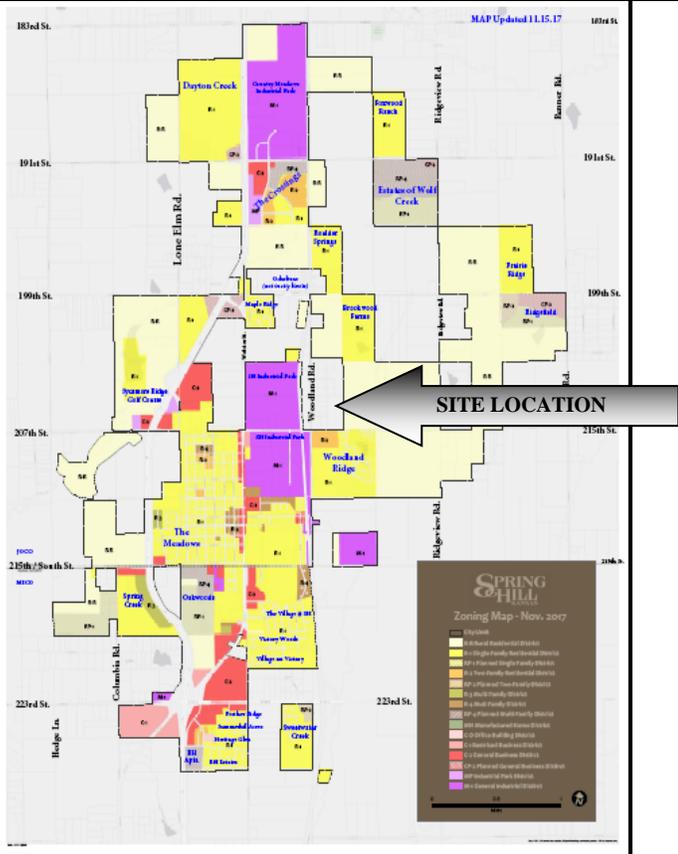
Engineer: Allenbrand-Drews Engineering

Site Area: North side of 207th Street

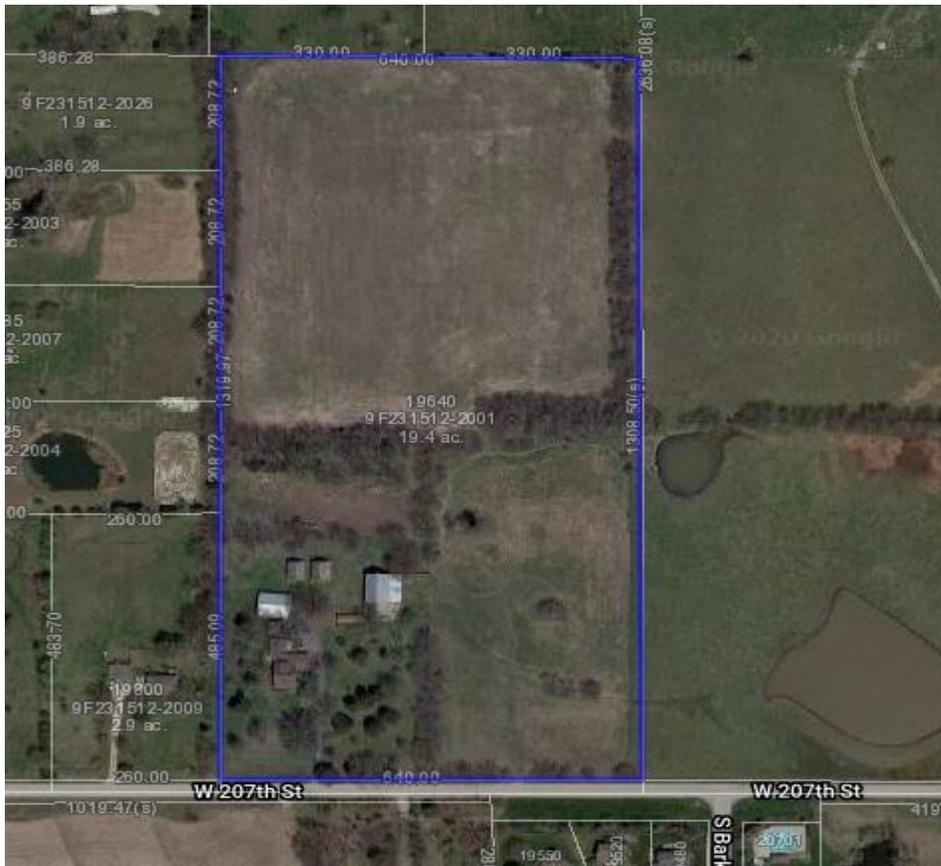
Total Lot Area: **Proposed Number of Lots:**

Current Zoning: R-R (Rural Residential) **Proposed Use:** Residential

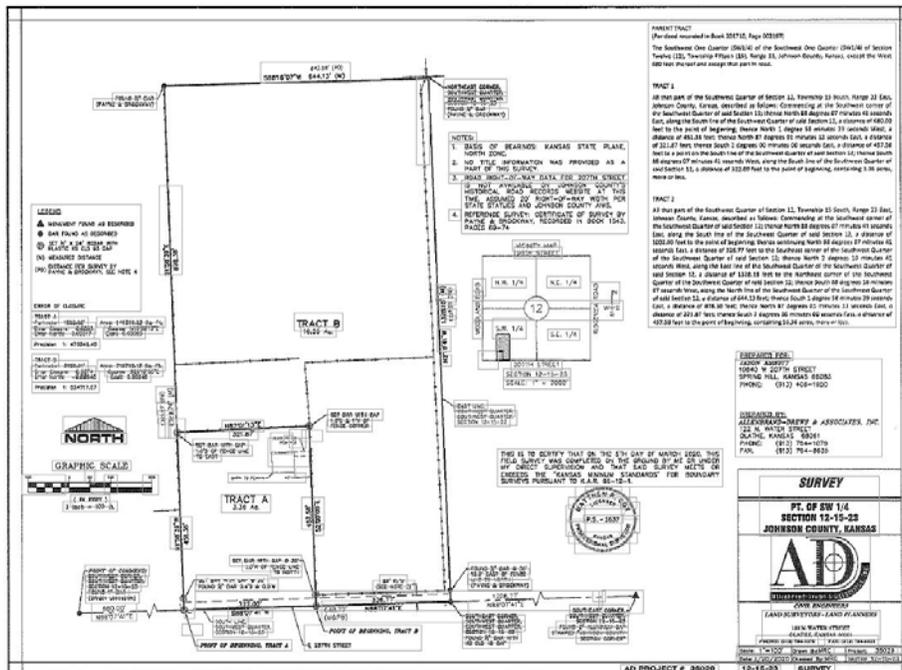
Related Applications: Annexation Ord. 2020-02

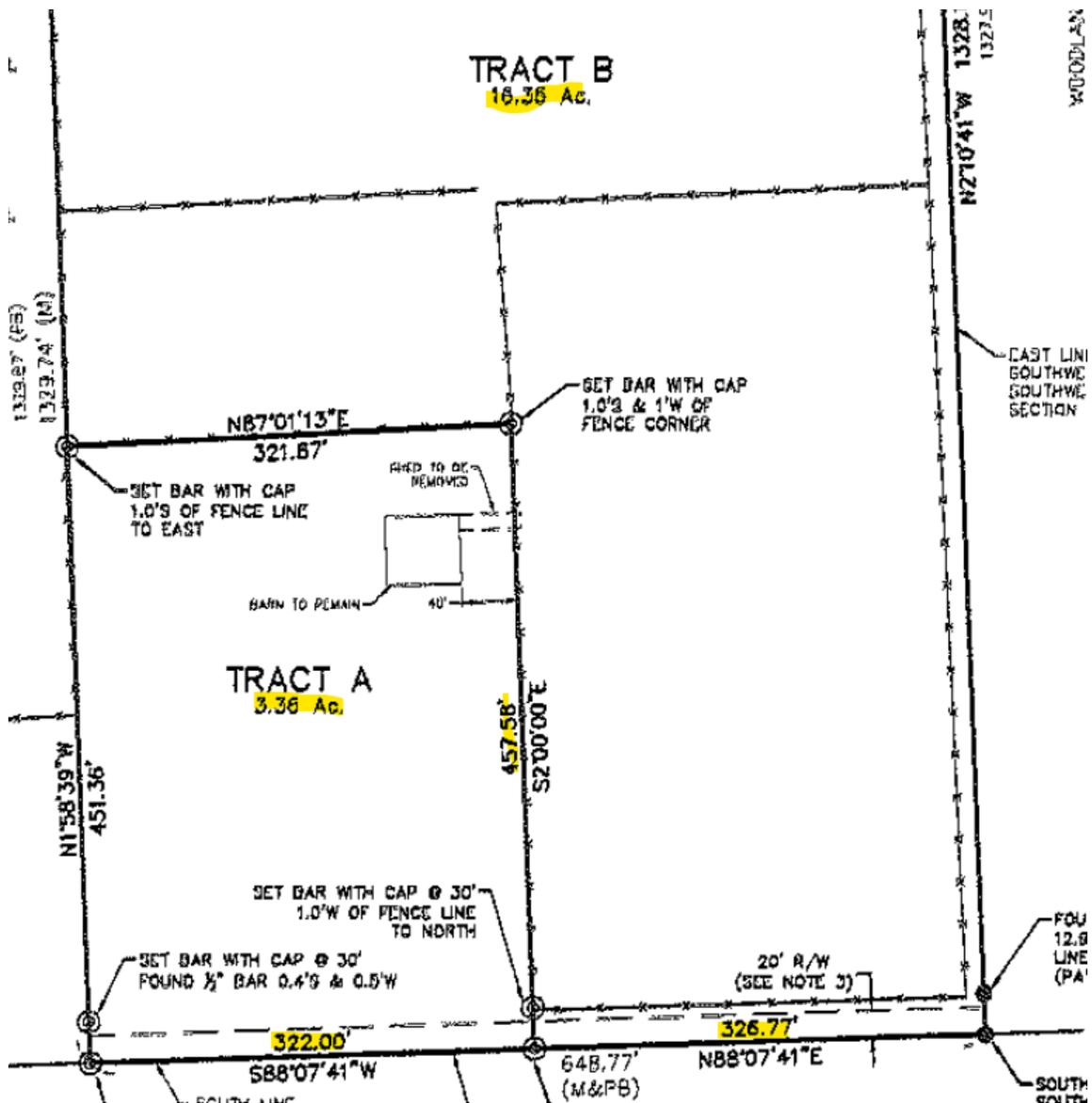


AERIAL



SURVEY





BACKGROUND:

The owners and applicant, L-000019-2020 Samuel Abbott., have requested 19.22 acre parcels be split into two tracts and adding a private street to correct a land locked parcel. The property is currently zoned R-R and sewer can be extended from Woodland Ridge Subdivision by crossing 207th Street at Emerald Street. There is a house and accessory structure located on proposed tract A. Water and sewer are available to all tracts.

STAFF COMMENT:

The owners and applicants are requesting a lot split to create two tracts referred to as Tract A and B. Tract “A” is proposed to contain 3.36 acres and lot “B” 16.35 acres. Both proposed lots will remain R-R zoning in use after the split. It is staff’s understanding that there will be single-family structures built on the lot B in the future. Both lot meet the R-R zoning standards of 2 acre minimum and 250 ft of frontage and 300 ft lot depth (as seen above).

Staff finds the lot split to follow the intent of the established guidelines of Section 17.374 and Section 17.308 (R-R), of the Spring Hill Subdivision Regulations.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the lot split application the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application, or
- Recommend denial of the application and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

STAFF RECOMMENDATION:

Staff recommends approval of the lot split application L-000019-2020, Samuel Abbott.

Attachments: Survey

K:\Projects\2020\35029 - Pt. SW 1/4 Sec 12-15-23 Tract A&B.dwg, Scale=11 Drawn: March 23, 2020 - 3:01pm By: MJC

PARENT TRACT
(Per deed recorded in Book 201710, Page 002197)
The Southwest One Quarter (SW1/4) of the Southwest One Quarter (SW1/4) of Section Twelve (12), Township Fifteen (15), Range 23, Johnson County, Kansas, except the West 680 feet thereof and except that part in road.

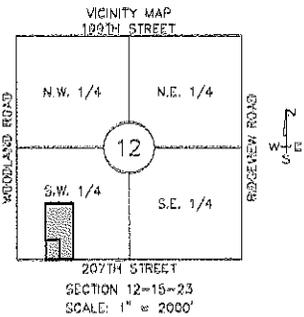
TRACT 1
All that part of the Southwest Quarter of Section 12, Township 15 South, Range 23 East, Johnson County, Kansas, described as follows: Commencing at the Southwest corner of the Southwest Quarter of said Section 12; thence North 88 degrees 07 minutes 41 seconds East, along the South line of the Southwest Quarter of said Section 12, a distance of 680.00 feet to the point of beginning; thence North 1 degree 58 minutes 39 seconds West, a distance of 451.36 feet; thence North 87 degrees 01 minutes 13 seconds East, a distance of 321.87 feet; thence South 2 degrees 00 minutes 00 seconds East, a distance of 457.58 feet to a point on the South line of the Southwest Quarter of said Section 12; thence South 88 degrees 07 minutes 41 seconds West, along the South line of the Southwest Quarter of said Section 12, a distance of 322.00 feet to the point of beginning, containing 3.36 acres, more or less.

TRACT 2
All that part of the Southwest Quarter of Section 12, Township 15 South, Range 23 East, Johnson County, Kansas, described as follows: Commencing at the Southwest corner of the Southwest Quarter of said Section 12; thence North 88 degrees 07 minutes 41 seconds East, along the South line of the Southwest Quarter of said Section 12, a distance of 1002.00 feet to the point of beginning; thence continuing North 88 degrees 07 minutes 41 seconds East, a distance of 326.77 feet to the Southeast corner of the Southwest Quarter of the Southwest Quarter of said Section 12; thence North 2 degrees 10 minutes 43 seconds West, along the East line of the Southwest Quarter of the Southwest Quarter of said Section 12, a distance of 1328.18 feet to the Northeast corner of the Southwest Quarter of the Southwest Quarter of said Section 12; thence South 88 degrees 16 minutes 07 seconds West, along the North line of the Southwest Quarter of the Southwest Quarter of said Section 12, a distance of 644.13 feet; thence South 1 degree 58 minutes 39 seconds East, a distance of 878.38 feet; thence North 87 degrees 01 minutes 13 seconds East, a distance of 321.87 feet; thence South 2 degrees 00 minutes 00 seconds East, a distance of 457.58 feet to the point of beginning, containing 16.36 acres, more or less.

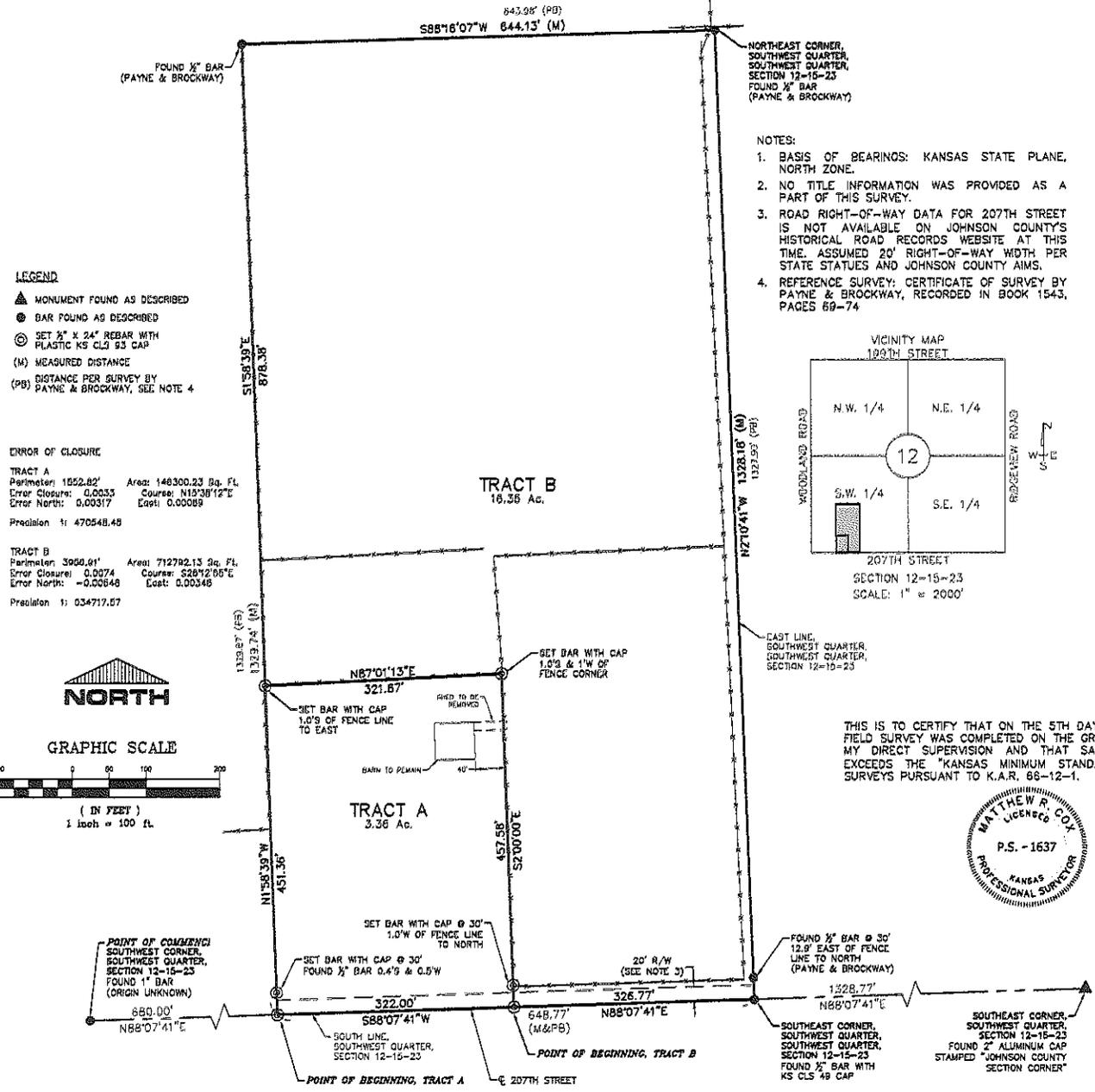
PREPARED FOR:
JASON ABBOTT
19840 W 207TH STREET
SPRING HILL, KANSAS 66083
PHONE: (913) 408-1950

PREPARED BY:
ALLENBRAND-DREWS & ASSOCIATES, INC.
122 N. WATER STREET
OLATHE, KANSAS 66061
PHONE: (913) 764-1076
FAX: (913) 764-8635

- NOTES:
1. BASIS OF BEARINGS: KANSAS STATE PLANE, NORTH ZONE.
 2. NO TITLE INFORMATION WAS PROVIDED AS A PART OF THIS SURVEY.
 3. ROAD RIGHT-OF-WAY DATA FOR 207TH STREET IS NOT AVAILABLE ON JOHNSON COUNTY'S HISTORICAL ROAD RECORDS WEBSITE AT THIS TIME. ASSUMED 20' RIGHT-OF-WAY WIDTH PER STATE STATUTES AND JOHNSON COUNTY AIMS.
 4. REFERENCE SURVEY: CERTIFICATE OF SURVEY BY PAYNE & BROCKWAY, RECORDED IN BOOK 1543, PAGES 69-74



THIS IS TO CERTIFY THAT ON THE 5TH DAY OF MARCH 2020, THIS FIELD SURVEY WAS COMPLETED ON THE GROUND BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.A.R. 86-12-1.

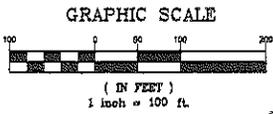


- LEGEND
- ▲ MONUMENT FOUND AS DESCRIBED
 - BAR FOUND AS DESCRIBED
 - ⊙ SET 2" x 24" REBAR WITH PLASTIC KS CLS 49 CAP
 - (M) MEASURED DISTANCE
 - (PB) DISTANCE PER SURVEY BY PAYNE & BROCKWAY, SEE NOTE 4

ERROR OF CLOSURE

TRACT A
Perimeter: 1952.82' Area: 148300.23 Sq. Ft.
Error Closure: 0.0053 Course: N19°30'12"E
Error North: 0.00317 East: 0.00089
Precision: 1: 470548.48

TRACT B
Perimeter: 3990.61' Area: 712782.13 Sq. Ft.
Error Closure: 0.0074 Course: S28°12'06"E
Error North: -0.00648 East: 0.00348
Precision: 1: 034717.07



SURVEY		
PT. OF SW 1/4 SECTION 12-15-23 JOHNSON COUNTY, KANSAS		
CIVIL ENGINEERS LAND SURVEYORS - LAND PLANNERS		
122 N. WATER STREET OLATHE, KANSAS 66061 PHONE: (913) 764-1076 FAX: (913) 764-8635		
Scale: 1"=100'	Drawn By: MRC	Project: 35029
Date: 3/20/2020	Checked By: MRC	Section: 12-15-23

AD PROJECT # 35029

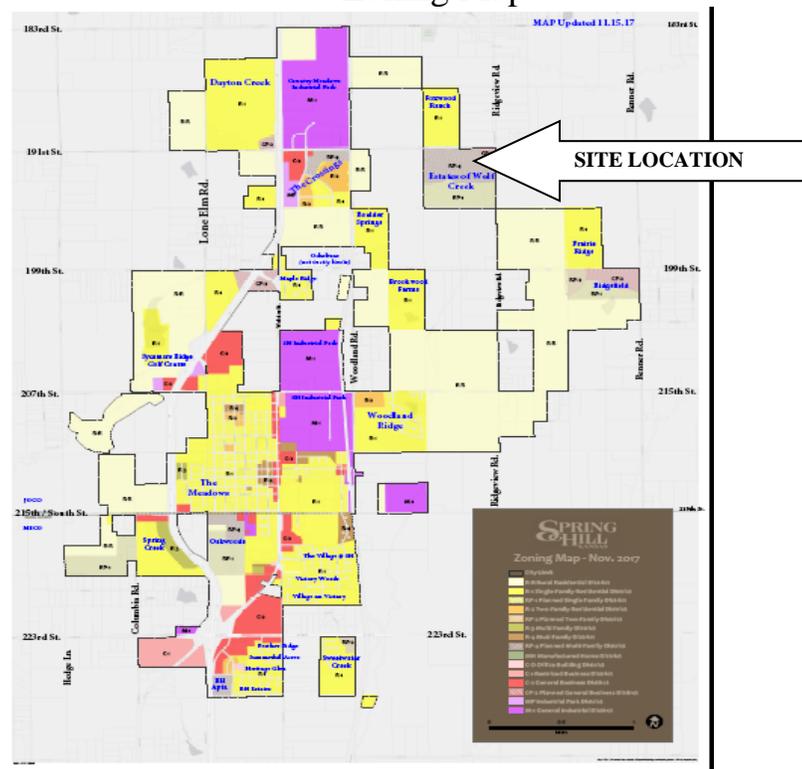
12-15-23 SURVEY

**SPRING HILL PLANNING COMMISSION
PRELIMINARY PLAT STAFF REPORT**

Case #: PLAT-000015-2020 **Meeting Date:** June 04, 2020
Description: Proposed Preliminary Plat
Location: 18685 W. 191st Street
Applicant: RIC – Chip Corcoran **Owner:** USD#230
Engineer: RIC – Chip Corcoran
Current Zoning: “RP-4” **Proposed Zoning:** N/A
Site Area: 34.60 +/- acres **Number of Lots:** 1

	Current Zoning	Existing Land Use	Future Land Use Map
Site:	RP-4	Agricultural	Planned Multi-Family
North:	R-R	Agricultural	Institutional
South:	RP-1	Residential	Mixed-Use Residential
East:	CP-2	Planned General Business	Planned General Business
West:	RP-4	Agricultural	Planned Multi-Family

Zoning Map



Aerial



Existing Preliminary Plat of Estates of Wolf Creek



BACKGROUND:

An application has been received for the preliminary plat on a 34.60 acre tract located approximately 629 feet west of the 191st St. & Ridgeview Rd center intersection. The property is currently zone RP-4 (Planned Multi -Family District). This preliminary plat is a major change in the next phase of development for the Estates of Wolf Creek subdivision .

ADDITIONAL REVIEW COMMENTS:

Staff distributed the preliminary plat application to various consultants and City staff for comment. The review comments from the government agencies, consultants and utility providers have been implemented as applicable on the new Preliminary Plat. The applicant and their engineer will have addressed all of the provided comments by Final Plat approval.

PRELIMINARY PLAT:

The existing plat shows 442 +/- multi-family residential units. The new Preliminary Plat will not have any multi-family. A copy of the proposed preliminary plat and landscape plan is included with this staff report.

The utility easements are shown with dimensions meeting the minimum easement requirements for the City. Additional easements will be required and addressed during the infrastructure construction design process. The right-of-way and utility easements are shown with dimensions meeting the minimum requirements for the City and affected utility providers. Additional easement requirements will be reviewed and maybe required on the Final Plats.

The City will provide sanitary sewers and Johnson County WaterOne will provide water.

ADDITIONAL STAFF COMMENT:

1. Staff has coordinated plan reviews with internal utility, street, and community development staff. Staff has also received comments back from our On-Call City Engineer firm for the engineers to address. All comments and revised plans will be addressed prior to filling the Final Plat.

RECOMMENDATION:

Staff recommends

Recommend Approval PLAT-000015-2020 Spring Hill Middle School #3 Preliminary Plat subject to:

- 1) The City-at-large is granted access to the neighborhood trail system through a public access easement on the final plat.
- 2) The applicant pays a park fee when a building permit is issued if the access to the trail system is not granted to the City-at-large.
- 3) Improvement Agreement must be signed and excise tax (if any) must be paid prior to recording the Final Plat.
- 4) A master landscape plan for areas of common open space tracts, and a landscape buffer for residential areas.
- 5) A street tree plan for all local and collector streets will need to be submitted with the final plat(s) addressing the following, unless more restrictive city requirements are in effect at the time of installation:
 - Street tree species approved by the City.

- An average spacing of forty (40) linear feet between trees, with a minimum planting size of two and one-half (2 ½) inch caliper to three (3) inch caliper as measured six (6) inches above ground.
- The location of such trees must be coordinated so the trees at maturity are an adequate distance away from storm sewer inlets, street lights, fire hydrants, and sight-distance triangles at the street intersection.
- All trees must be guaranteed for a period of no less than two years.

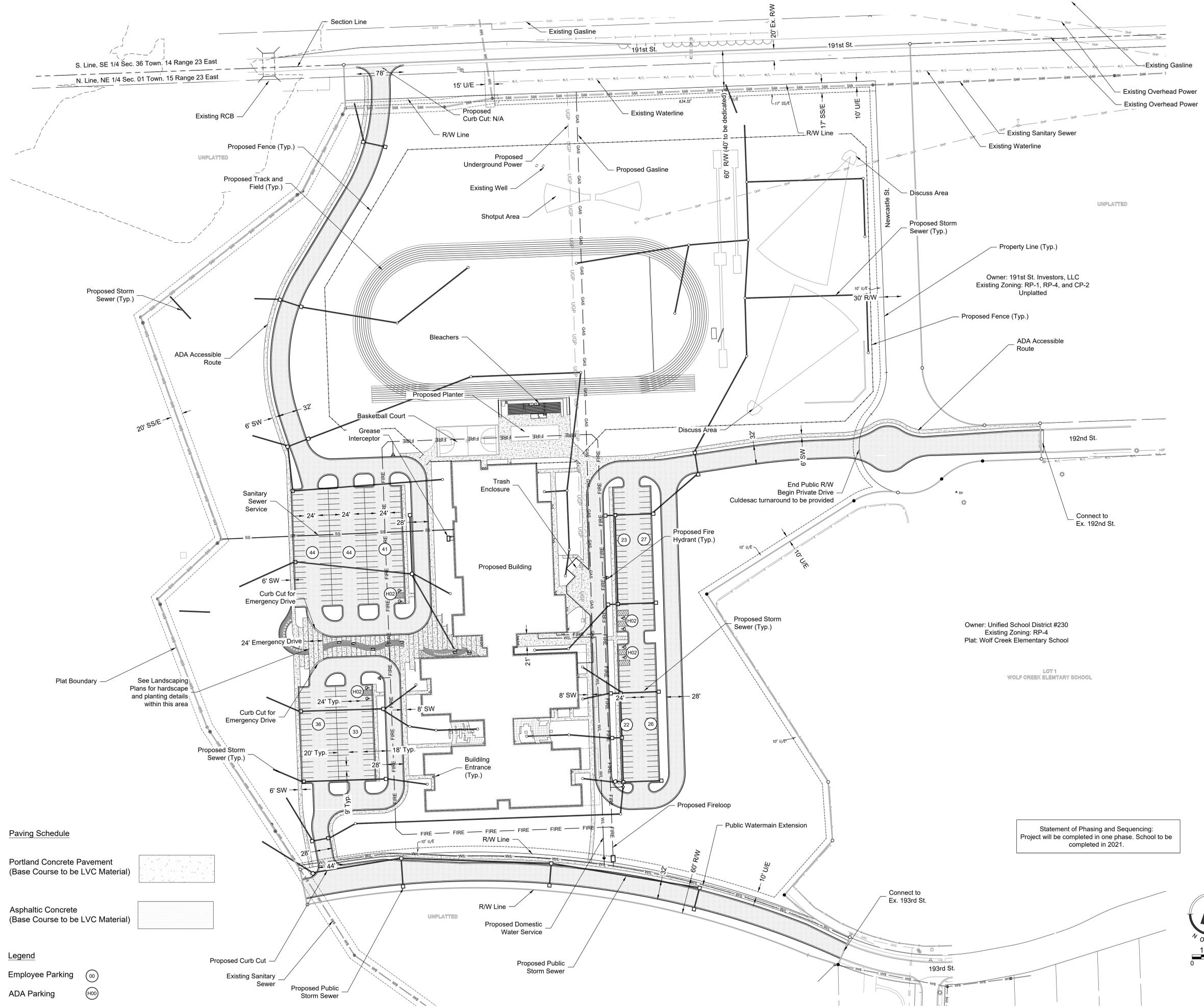
ALTERNATIVE ACTION: Alternatives for action by Planning Commission include:

- *Approval of application, or*
- *Denial of application, or*
- *Continuance of item to future meeting identifying specific issues to be reviewed by staff and/or the applicant.*

RECOMMENDATION: Staff recommends approval of PLAT-000015-2020 and allow applicant to proceed with Final Plat (with noted changes, if any).

Suggested Motion: Motion to recommend approval of the preliminary plat application PLAT-000015-2020 as presented by staff.

Attachments: preliminary plat



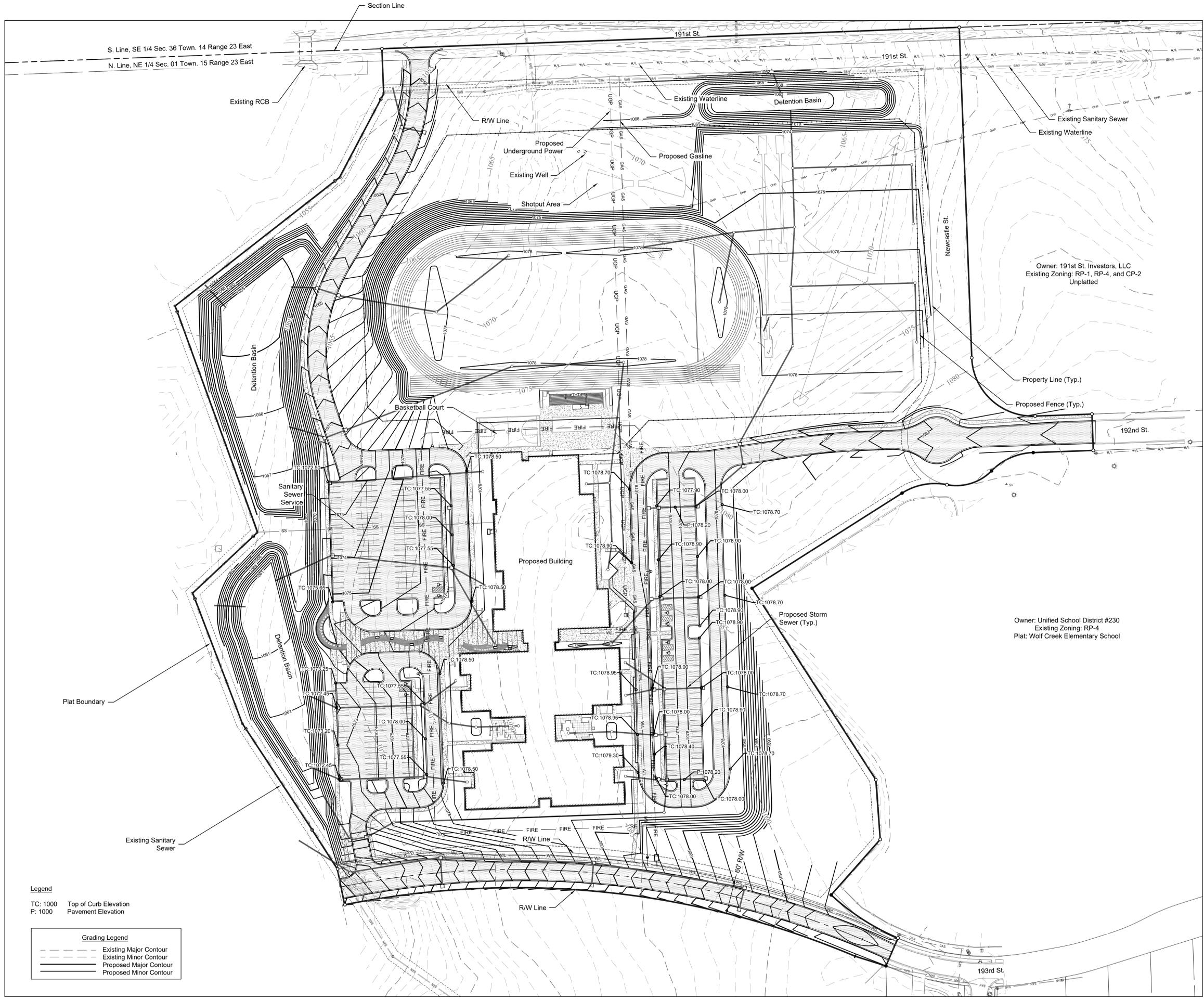
- Paving Schedule**
- Portland Concrete Pavement (Base Course to be LVC Material)
 - Asphaltic Concrete (Base Course to be LVC Material)
- Legend**
- Employee Parking (00)
 - ADA Parking (H00)

Statement of Phasing and Sequencing:
Project will be completed in one phase. School to be completed in 2021.



Mar 29, 2020 9:41 AM
 Z:\R\C\Design\2020\0118\DWG\Sheets\20-0118 Preliminary Plat.dwg

RENAISSANCE INFRASTRUCTURE CONSULTING
 616 S. OAK STREET, SUITE 100
 SPRINGFIELD, MISSOURI 65705
 WWW.REI-CO.COM
 MISSOURI CERTIFICATE OF AUTHORITY NO. 20100335530



S. Line, SE 1/4 Sec. 36 Town. 14 Range 23 East
N. Line, NE 1/4 Sec. 01 Town. 15 Range 23 East

Owner: 191st St. Investors, LLC
Existing Zoning: RP-1, RP-4, and CP-2
Unplatted

Owner: Unified School District #230
Existing Zoning: RP-4
Plat: Wolf Creek Elementary School

Legend

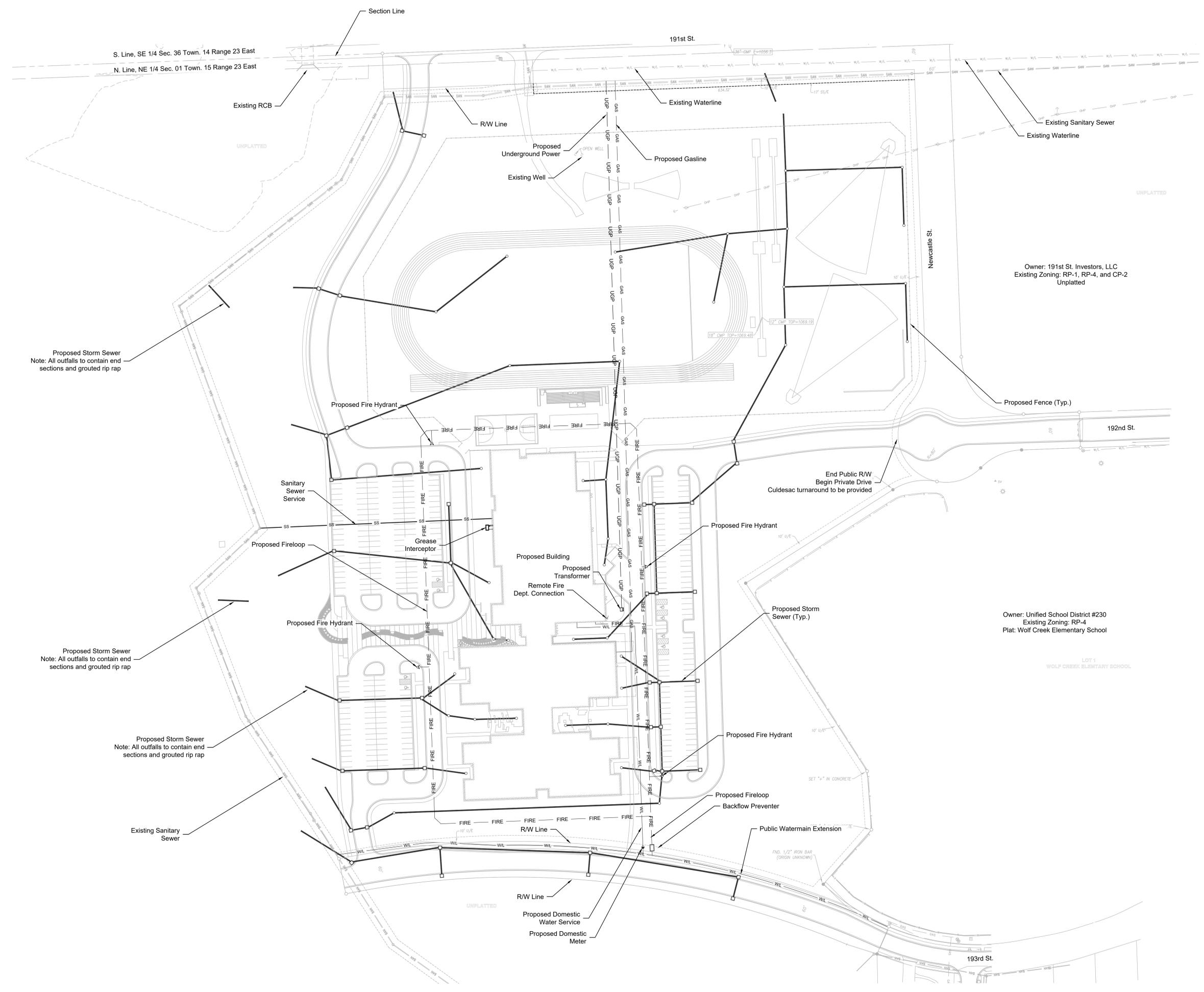
TC: 1000 Top of Curb Elevation
P: 1000 Pavement Elevation

Grading Legend

- Existing Major Contour
- - - Existing Minor Contour
- Proposed Major Contour
- Proposed Minor Contour



Mar 29, 2024 10:12am
 Z:\R\C\Design\2020\0118\DWG\Sheets\20-0118 Preliminary Plat.dwg



Proposed Storm Sewer
Note: All outfalls to contain end sections and grouted rip rap

Proposed Storm Sewer
Note: All outfalls to contain end sections and grouted rip rap

Proposed Storm Sewer
Note: All outfalls to contain end sections and grouted rip rap

Existing Sanitary Sewer

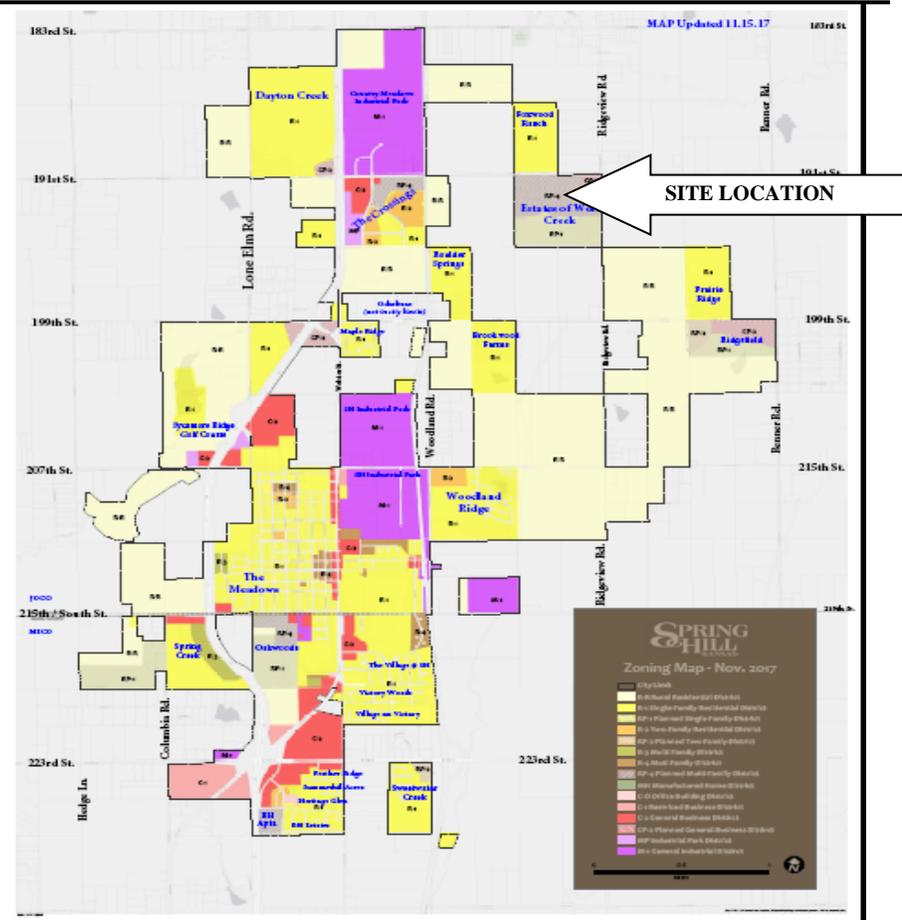
Owner: 191st St. Investors, LLC
Existing Zoning: RP-1, RP-4, and CP-2
Unplatted

Owner: Unified School District #230
Existing Zoning: RP-4
Plat: Wolf Creek Elementary School

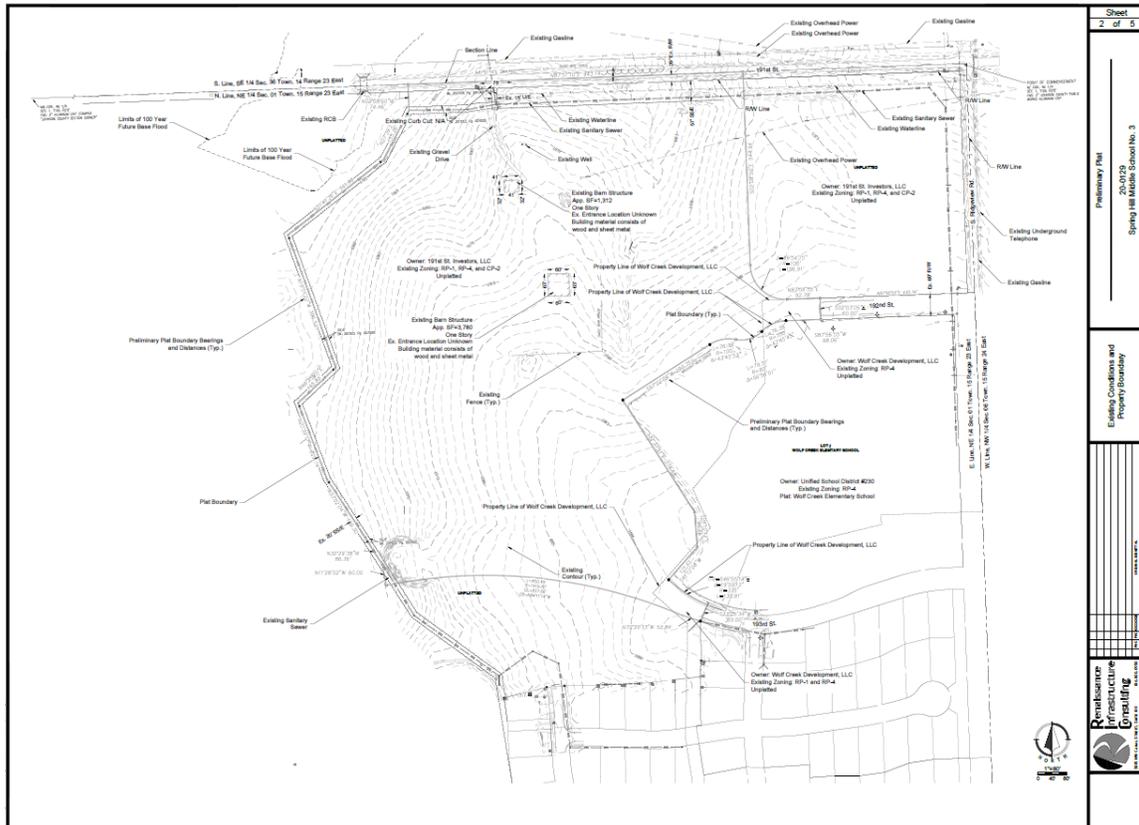
**SPRING HILL PLANNING COMMISSION
FINAL PLAT STAFF REPORT**

Case #: PLAT-000016-2020 **Meeting Date:** June 04, 2020
Description: Proposed Final Plat – Spring Hill Middle School #3
Location: 18685 W. 191st St.
Applicant: RIC – Chip Corcoran **Owner:** USD#230
Engineer: RIC – Chip Corcoran
Site Area: 34.60 acres / RP- 4
Minimum Lot Area: 34.60 +/- acres **Number of Lots:** 1

SP-000011-2020; PP-000015-2020; CUP-000014-2020



PRELIMINARY PLAT



BACKGROUND:

The applicant, RIC – Chip Corcoran and owner, USD#230, has submitted an application for a Final Plat of Spring Hill Middle School #3.

The Planning Commission approved the Preliminary Plat of Spring Hill Middle School #3.

STAFF COMMENT:

Spring Hill Middle School #3 plat consists of 1 lot. Staff offers the following review per Section 17.372.D of the Spring Hill Subdivision Regulations:

1. Separate drawings of profiles and cross section of streets and public use areas are to be forwarded to the City Engineer for review.
2. Staff has verified the person or persons name on the plat are the owner(s) of the area subject to the final plat.
3. Staff has verified all due or unpaid taxes have been paid in full.
4. Adequate control of storm water through appropriate BMP's will be detailed on drawings submitted to the City Engineer for approval and will address the City Engineer comments regarding the drainage study.
5. Erosion control shall be installed and maintained per City Standards.
6. Construction refuse will be disposed of in an appropriate manner.
7. Must comply with erosion control standards throughout the development and construction of the improvements and home construction.

8. Park Fees: The total project meets the requirements for open space; therefore, park fees are not applicable.
9. The required Improvement Agreement is being prepared by staff and will be forwarded to the applicant, City Engineer and City Attorney for review and approval. This Agreement will be signed, and applicable excise tax paid by the applicant prior to consideration of the final plat by the Governing Body. All required bonds and insurance documents would be submitted to the City prior to issuance of a Notice to Proceed from the City Engineer.
10. The review comments from the government agencies, consultants and utility providers have been implemented as applicable. The applicant and their engineer have addressed all of the provided comments. Additional easements may be required to accommodate the improvements.
11. The plat conforms to the Property Development Standards addressed in Section 17.338.A, size of lots and setbacks. Maximum height and building setbacks will be addressed during the building permit issuance process for approval.
12. The City will provide sewers, and WaterOne will provide water to the subdivision.
13. The proposed final plat and subdivision complies with the Comprehensive Plan.
14. The Proposed final plat is in substantial compliance with the approved preliminary plat.
15. If plat is for a school, a CUP is required.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the final plat application, the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

RECOMMENDATION:

Staff recommends approval of the Final Plat (PLAT-000016-2020), Spring Hill Middle School #3 of Spring Hill, KS, Johnson County, KS, Subject to:

Suggested Motion: Move to recommend approval of Final Plat application PLAT-000016-2020 for Spring Hill Middle School #3, as presented in the staff report.

Attachments: 1. Final Plat

**SPRING HILL PLANNING COMMISSION
CONDITIONAL USE STAFF REPORT**

Case #: CU-000014-2020

Meeting Date: June 4, 2020

Description: Proposed Conditional Use Permit for a USD 230 Middle School #3

Location: Estates of Wolf Creek Subdivision, 191st St. & Ridgeview Rd.

Applicant: USD230

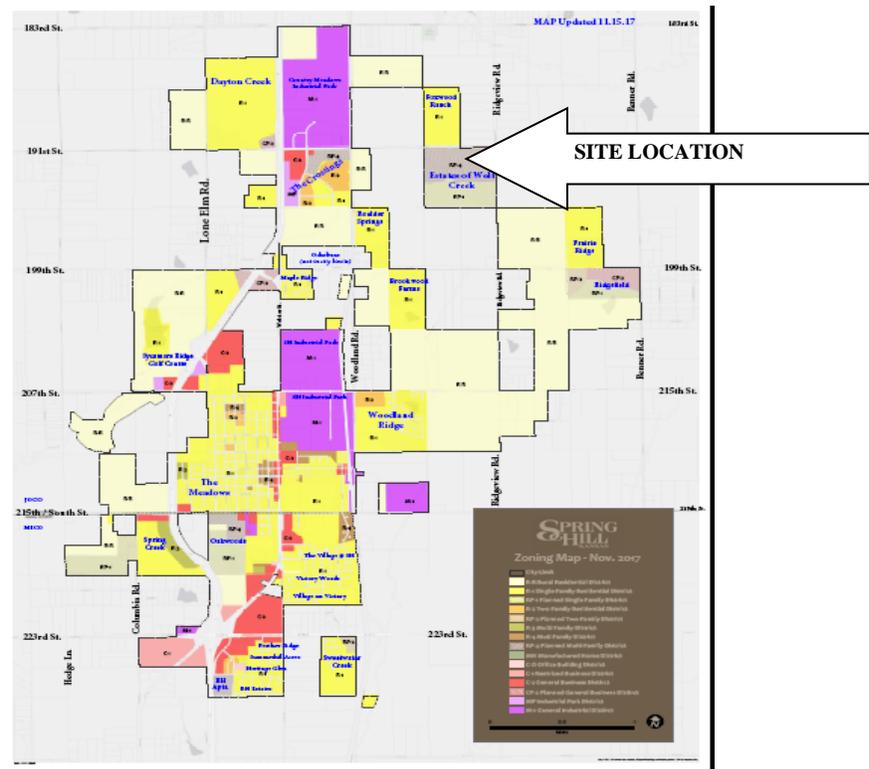
Engineer: RIC

Current Zoning: RP-4 Multi-Family Residential

Site Area: 34.60 acres

Number of Lots: 1

	Current Zoning	Existing Land Use	Future Land Use Map
Site:	RP-4	Agricultural	Residential
North:	R-R	Agricultural	Institutional
South:	RP-1	Single Family Resid.	Residential
East:	CP-2	Planned General Business.	Planned General Business
West:	RP-4	Institutional.	Planned Multi-Family



BACKGROUND:

The applicants, USD230, have submitted a request for a conditional use permit for a middle school that would be that would be located in the Estates of Wolf Creek Subdivision. The Spring Hill Zoning Ordinance allows for a school in an RP-4 district with a Conditional Use Permit, as per section 17.310.C.3.

GOLDEN FACTORS:

The review of the proposed conditional use permit is consistent with Golden v. City of Overland Park, 224 Kan. 591, 584 P. 2d 130 (1978).

1. **Neighborhood Character.** The surrounding neighborhood currently is vacant land as this proposed use is a part of the Estates of Wolf Creek Subdivision.
2. **Adjacent Zoning.** Adjacent parcels are zoned RP-1 Single Family Residential and CP-2 Planned General Business. The Proposed conditional use permit is compatible with existing zoning.
3. **Requested Because of Changing Conditions:** Growth in the community and within the boundaries of USD230 have necessitated the need for a new middle school.
4. **Detrimental Effect of Zoning Change.** The proposed conditional use permit will not have a detrimental effect on the nearby properties. It is the opinion of staff that the proposed use will not create land use conflicts with existing or planned future uses. To date, staff has not received comments negative to the request from adjoining owners or the general public.
5. **Public Gain Balanced by Landowner Hardship.** Public gain includes regulating the property with a Conditional Use Permit.
6. **Conformance with Comprehensive Plan.** The proposed conditional use permit Is in conformance with the Spring Hill Comprehensive Plan, which shows the parcel as planned multi-family residential.
7. **The proposed project is consistent with purposes of the regulations and intent of the district.** The proposed development is consistent with regulations and intent of the district in that a school is allowed in an RP-4 zone with a conditional use permit.
8. **Review of suitability of parcel for uses permitted by the district.** The proposed project is suitable for this particular parcel when considering zoning, current use and future land use.
9. **The proposed project corrects an error.** The project does not correct an error of any kind.
10. **Adequacy of current facilities.** Facilities such as road access, water, sewer, electric

and gas are available to be extended to the site.

11. Conformity with Comprehensive Plan. The proposed use is in compliance with the Comprehensive Plan with regards to zoning and future land use.

12. Hardship if application is denied. The applicant could better speak to any perceived hardship if the application is denied.

SITE PLAN:

Conditional Use Permit applications are to be accompanied by a detailed site plan. The site plan is an additional item for consideration by the Planning Commission in connection with this CUP application. The site plan information and staff report are included with the PC packet. The site plan was approved by the Planning Commission at the May 7, 2020 meeting.

ADDITIONAL REVIEW CRITERIA:

As per the matrix adopted by the Planning Commission in 2014, schools with a Conditional Use Permit are recommended for annual review rather than scheduled renewal.

PLANNING COMMISSION REVIEW AND ACTION:

Upon review of the CUP application, the Planning Commission may, by a majority vote of those Members present:

- Recommend approval of the application to the Governing Body, or
- Recommend approval of the application to the Governing Body with conditions or modifications, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action.

RECOMMENDATION:

Staff recommends the approval of CU-000014-2020, for a school located within Estates of Wolf Creek subdivision, as described in the above staff report, with the following condition(s):

1. The conditional use permit is subject to annual staff review and reporting to the Planning Commission

Suggested Motion: Move to recommend approval of Conditional Use Permit, CU-000014-2020, for a middle school located within Estates of Wolf Creek subdivision as presented by staff, subject to the following:

- *Annual staff review and reporting to the Planning Commission*

**SPRING HILL PLANNING COMMISSION
PRELIMINARY PLAT STAFF REPORT**

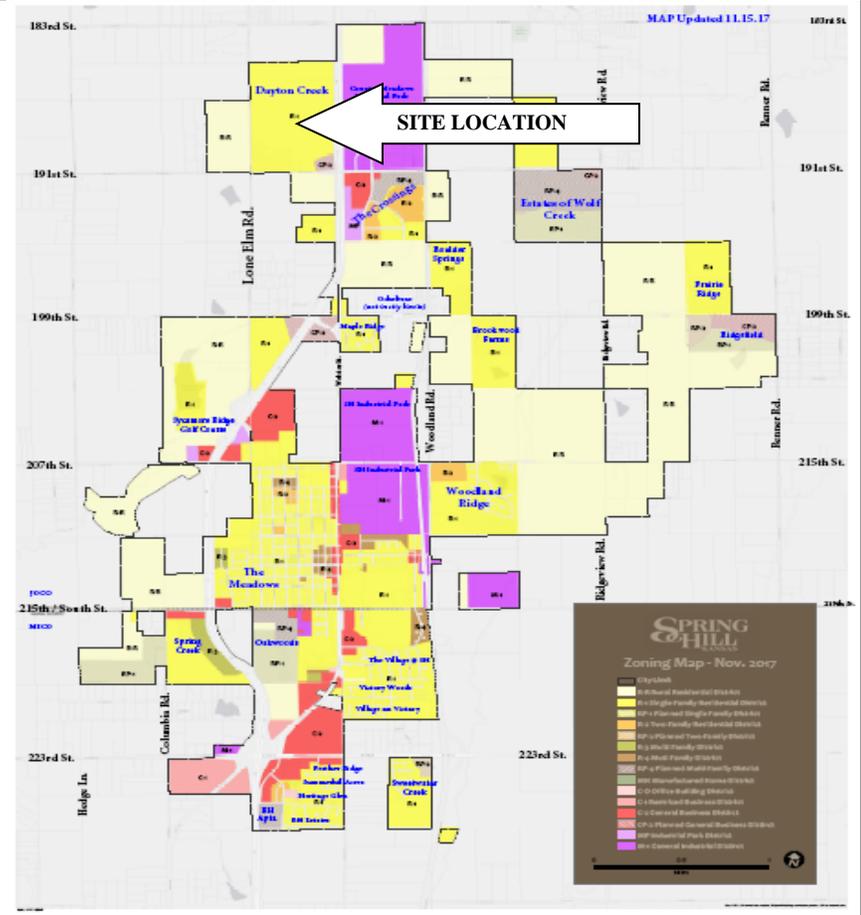
Case #: PLAT-000018-2020 **Meeting Date:** June 04, 2020
Description: Proposed Preliminary Plat (Dayton Creek Subdivision)
Location: South Lone Elm Road and U.S. 169
Applicant: Polsinelli PC – Curtis Holland **Owner:** PV Investments, LLC.
Engineer: McClure Engineering – Tom Smith
Site Area: 138.90 acres / R-1

Minimum Lot Area: 9,000 sq. ft. **Number of Lots:** 300 / R-1

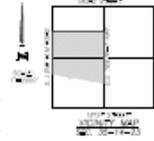
Lot Area R-1: 330,185 sq. ft. **Number of Lots:** 300

Current Zoning: “R-1” **Proposed Use:** Residential

Related Applications: PLAT-000017-2020



PRELIMINARY PLAT OF
DAYTON CREEK
 CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS



LEGEND

100'	500' (400')	100' (50')
20'	100' (50')	25' (10')

NOTICE: The plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

CONVEYANCE: The plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

RECORDING: This plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

- NOTICE:**
1. THE PLAT IS SUBJECT TO THE PROVISIONS OF THE UNIFORM PLATTING ACT OF THE STATE OF KANSAS, CHAPTER 17-101, KANSAS STATUTES ANNOTATED, AND THE RULES AND REGULATIONS OF THE STATE BOARD OF PLANNING AND ZONING, CHAPTER 17-101-10, KANSAS ADMINISTRATIVE REGULATIONS.
 2. THE PLAT IS SUBJECT TO THE PROVISIONS OF THE UNIFORM PLATTING ACT OF THE STATE OF KANSAS, CHAPTER 17-101, KANSAS STATUTES ANNOTATED, AND THE RULES AND REGULATIONS OF THE STATE BOARD OF PLANNING AND ZONING, CHAPTER 17-101-10, KANSAS ADMINISTRATIVE REGULATIONS.
 3. THE PLAT IS SUBJECT TO THE PROVISIONS OF THE UNIFORM PLATTING ACT OF THE STATE OF KANSAS, CHAPTER 17-101, KANSAS STATUTES ANNOTATED, AND THE RULES AND REGULATIONS OF THE STATE BOARD OF PLANNING AND ZONING, CHAPTER 17-101-10, KANSAS ADMINISTRATIVE REGULATIONS.



NOTICE: The plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

CONVEYANCE: The plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

RECORDING: This plat is subject to the provisions of the Uniform Platting Act of the State of Kansas, Chapter 17-101, Kansas Statutes Annotated, and the rules and regulations of the State Board of Planning and Zoning, Chapter 17-101-10, Kansas Administrative Regulations.

PRELIMINARY PLAT
 DAYTON CREEK
 SEC. 25, TWP. 14, RANG. 23
 CITY OF SPRING HILL
 JOHNSON COUNTY, KANSAS

MOCLURE

BACKGROUND:

The applicant, Polsinell PC, and owner, PV Investments, LLC, has submitted an application for a new Preliminary Plat of Dayton Creek. (A copy of the proposed new preliminary plat is included with this staff report.)

In 2016, the Planning Commission approved a Preliminary Plat of Dayton Creek. The plat was reflective to “RP-1” / “CP-2” zoning. The applicator submitted and the PC approved a Preliminary Plat changing the commercial area of the plat to a planned residential district. This plat is another change in the R-1 zoned area. Market conditions shows a need for a few larger lots that will accommodate the houses in demand. The applicant has submitted a new Preliminary Plat that conforms to “R-1” zoning with 300 standard lots.

STAFF COMMENT:

The review comments from the government agencies, consultants and utility providers have been implemented as applicable on the new Preliminary Plat. The applicant and their engineer have addressed all the provided comments. Additional easements may be required to accommodate the improvements.

The plat and related information were sent to KDOT for review and comment. A new traffic study was not requested by KDOT due to the reduction in the number of lots. The items that KDOT requested to be changed have been addressed and changed on the Preliminary Plat. Again, the density of the newly revised plat has been decreased.

There remains 5 access points into this subdivision and 2 rather than 3 future street extensions toward the north.

The right-of-way and utility easements are shown with dimensions meeting the minimum requirements for the City and affected utility providers. Additional easement requirements will be looked at and maybe required on the Final Plats.

The plat conforms to the Property Development Standards addressed in Section 17.338.A, size of lots, and setbacks. Maximum height and building setbacks will be addressed during the building permit issuance process for approval.

The City will provide sewers, and WaterOne will provide water to the subdivision. This property is participating in the north sewer benefit district.

The subdivision layout provides 36.38 acres of open space / neighborhood parks and landscape easements overall. The first 3 phases of this subdivision is already developed or being developed with Therefore, if the preliminary plat is approved, the owner would not be subject to park impact fees if the open space / parks remain the same on the Final Plat. The pedestrian circulation system for each phase must be completed or the park impact fees will be assessed.

The excise tax will be calculated at the Final Plat phase. The amount of open space, KDOT road right-of-way, and certain road improvements will be used to off-set the excise tax. Due to these anticipated off-sets, the City does not anticipate there will be any excise tax assessed at this time.

Neighborhood park and pool areas are being constructed at this time. The monument sign has been constructed and the water feature within the sign is operational.

The subdivision does comply with the Comprehensive Plan.

Planning Commission Review and Action: Upon review of the preliminary plat application the Planning Commission shall determine if the plat conforms to the provisions of the Subdivision Regulations and Comprehensive Plan. The Planning Commission shall take action to:

- Approve the application, or
- Approve the application with modifications, or
- Table action on the application to a specific date and notify the applicant of such action
- Reject the application

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat (PLAT-000018-2020), Dayton Creek Subdivision, 7TH Plat of Spring Hill, KS, Johnson County, KS, Subject to:

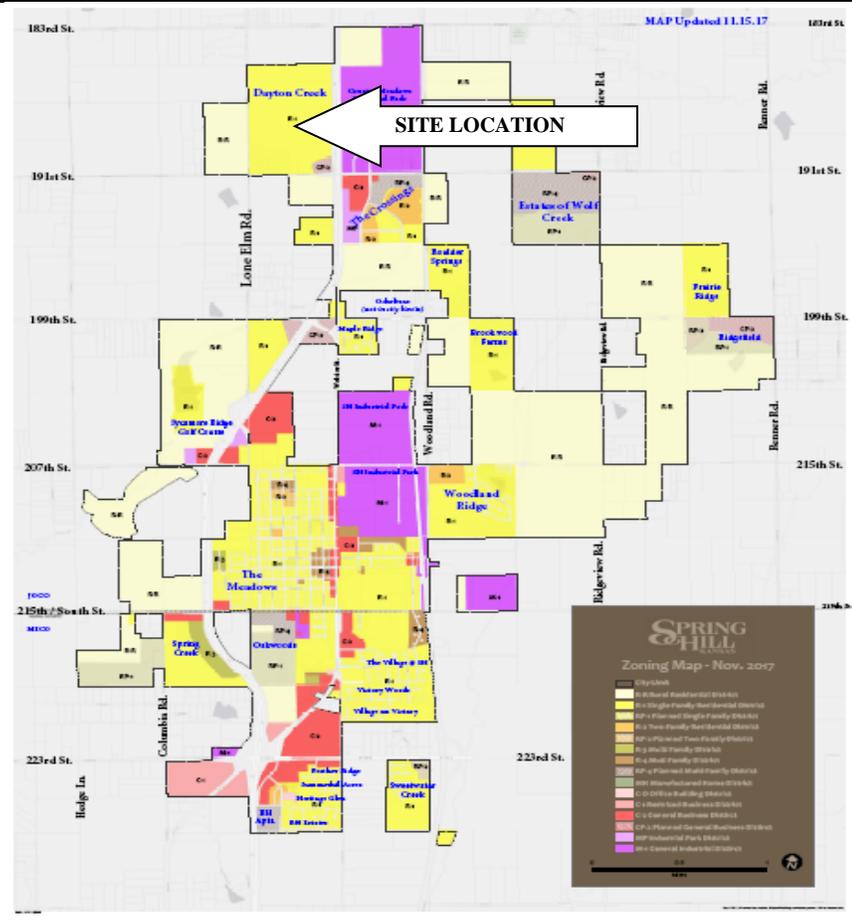
- 1) A landscaping plan will need to be submitted and approved prior to the approval of a final plat. The landscape plan shall be in compliance with Section 17.358-Landscaping of the Spring Hill Unified Subdivision Regulations. Note: The street tree plan has now been submitted.
- 2) The applicant shall plant landscaping in accordance with the staff approved landscape plan. The trail systems shall be completed with each phase of development. The last building permit in that phase of development and building permits in next phase of development will not be issued until the above items are completed.
- 3) The trail system shall be open to the public and an access easement to the trail system shall be shown on final plats.
- 4) The owner shall be responsible for improving 191st Street between U.S. 169 Hwy and Theden Street.

Suggested Motion: Motion to recommend approval of Preliminary Plat application PLAT-000018-2020 for Dayton Creek Subdivision, 7th Plat including conditions 1-4 as presented in the staff report.

Attachments: 1. Preliminary Plat

**SPRING HILL PLANNING COMMISSION
FINAL PLAT STAFF REPORT**

Case #: PLAT-000017-2020 **Meeting Date:** June 04, 2020
Description: Proposed Final Plat (Dayton Creek, 7th Plat)
Location: South portion of 18780 S. US169 Hwy
Applicant: Polsinelli PC – Curtis Holland **Owner:** PV Investments, LLC.
Engineer: McClure Engineering – Tom Smith
Site Area: 29.315 +/- acres / R-1
Minimum Lot Area: 9,000 sq. ft. **Number of Lots:** 59 / R-1 ZONING & 2 Tracts
Related Applications: PLAT-000018-2020



BACKGROUND:

The applicant, Polsinell PC and owner, PV Investments, LLC, has submitted an application for a Final Plat of Dayton Creek, 7th Plat.

STAFF COMMENT:

The review comments from the government agencies, consultants and utility providers have been implemented as applicable on the new Final Plat. The applicant and their engineer have addressed all of the provided comments. Additional easements may be required to accommodate the improvements.

The plat and related information were sent to KDOT for review and comment. A new traffic study was not requested by KDOT due to the reduction in the number of lots. The items that KDOT requested to be changed have been addressed and changed on the Preliminary Plat and Final Plat. Again, the density of the newly revised plat has been decreased by platting out the elementary school.

The right-of-way and utility easements are shown with dimensions meeting the minimum requirements for the City and affected utility providers. Additional easement requirements will be looked at and may be required on the Final Plat when the design of utilities is completed.

The plat conforms to the Property Development Standards addressed in Section 17.338.A, size of lots and setbacks. Maximum height and building setbacks will be addressed during the building permit issuance process for approval.

The City will provide sewers, and WaterOne will provide water to the subdivision. This property is participating in the north sewer benefit district.

The subdivision layout connects to 36.38 acres of open space / neighborhood parks and landscape easements overall. The first 5 phases of this subdivision are already developed or being developed with parks and open space; therefore, the owner would not be subject to park impact fees. The pedestrian circulation system for each phase must be completed or the park impact fees will be assessed.

The excise tax will be calculated and paid before Final Plat is recorded. The amount of open space, KDOT road right-of-way, and certain road improvements will be used to offset the excise tax. Due to these anticipated off-sets, the City does not anticipate there will be any excise tax assessed at this time.

Neighborhood park and pool areas are constructed. The monument sign has been constructed, and the water feature within the sign is operational.

The proposed final plat and subdivision does comply with the Comprehensive Plan.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the final plat application, the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

RECOMMENDATION:

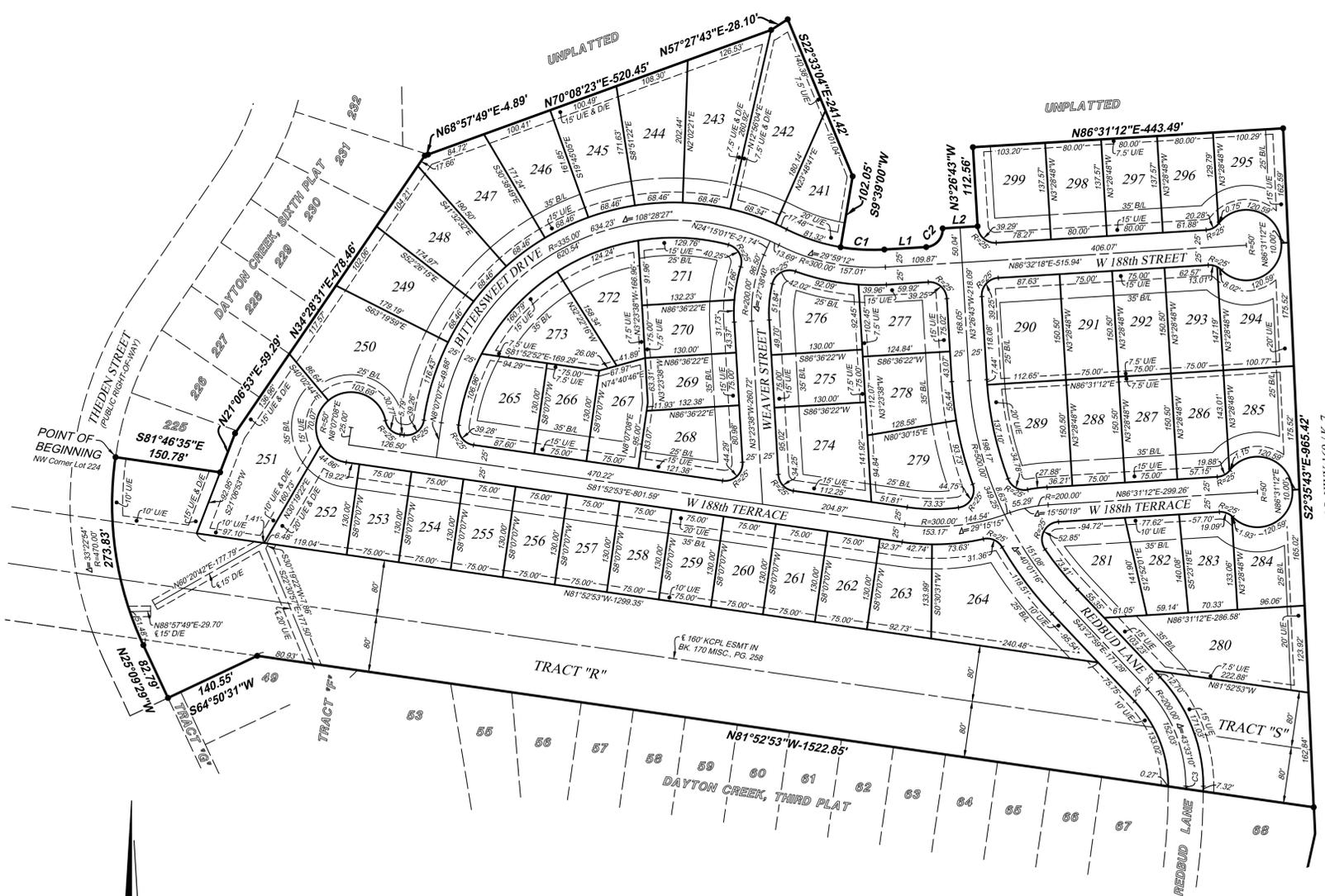
Staff recommends approval of the Final Plat (PLAT-000017-2020), Dayton Creek, 7th Plat, a Subdivision of Spring Hill, KS, Johnson County, KS, Subject to:

- 1) The applicant shall plant landscaping in accordance with the staff approved landscape plan. The trail systems shall be completed with each phase of development. The last building permit in that phase of development and building permits in next phase of development will not be issued until the required improvements are completed.
- 2) The trail system shall be open to the public and an access easement to the trail system shall be shown on final plat. The sidewalks and walking trails must be designed and constructed per the City Codes.
- 3) The owner shall be responsible for improving 191st Street between U.S. 169 Hwy and Theden Street.

Suggested Motion: Move to recommend approval of Final Plat application PLAT-000017-2020 for Dayton Creek, 7th Plat, including conditions 1-3 as presented in the staff report.

Attachments: 1. Final Plat

PLAT OF
DAYTON CREEK, SEVENTH PLAT
 A REPLAT OF LOT 224, DAYTON CREEK, SIXTH PLAT AND
 PART OF THE SW 1/4 OF SECTION 35, TOWNSHIP 14 SOUTH, RANGE 23 EAST
 CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS



AREAS

Lot 241	11,783 ± SQ. FT. /	0.270 ± ACRES
Lot 242	21,254 ± SQ. FT. /	0.488 ± ACRES
Lot 243	20,889 ± SQ. FT. /	0.475 ± ACRES
Lot 244	18,947 ± SQ. FT. /	0.366 ± ACRES
Lot 245	13,907 ± SQ. FT. /	0.319 ± ACRES
Lot 246	13,886 ± SQ. FT. /	0.319 ± ACRES
Lot 247	15,786 ± SQ. FT. /	0.362 ± ACRES
Lot 248	15,510 ± SQ. FT. /	0.356 ± ACRES
Lot 249	14,938 ± SQ. FT. /	0.343 ± ACRES
Lot 250	26,26 ± SQ. FT. /	0.603 ± ACRES
Lot 251	25,569 ± SQ. FT. /	0.587 ± ACRES
Lot 252	12,322 ± SQ. FT. /	0.283 ± ACRES
Lot 253	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 254	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 255	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 256	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 257	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 258	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 259	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 260	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 261	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 262	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 263	10,968 ± SQ. FT. /	0.252 ± ACRES
Lot 264	23,496 ± SQ. FT. /	0.539 ± ACRES
Lot 265	13,856 ± SQ. FT. /	0.318 ± ACRES
Lot 266	9,739 ± SQ. FT. /	0.223 ± ACRES
Lot 267	10,531 ± SQ. FT. /	0.242 ± ACRES
Lot 268	13,476 ± SQ. FT. /	0.309 ± ACRES
Lot 269	9,784 ± SQ. FT. /	0.224 ± ACRES
Lot 270	9,773 ± SQ. FT. /	0.224 ± ACRES
Lot 271	12,369 ± SQ. FT. /	0.284 ± ACRES
Lot 272	13,509 ± SQ. FT. /	0.310 ± ACRES
Lot 273	14,148 ± SQ. FT. /	0.325 ± ACRES
Lot 274	16,646 ± SQ. FT. /	0.382 ± ACRES
Lot 275	9,750 ± SQ. FT. /	0.224 ± ACRES
Lot 276	13,579 ± SQ. FT. /	0.312 ± ACRES
Lot 277	12,378 ± SQ. FT. /	0.284 ± ACRES
Lot 278	13,217 ± SQ. FT. /	0.303 ± ACRES
Lot 279	15,566 ± SQ. FT. /	0.357 ± ACRES
Lot 280	24,903 ± SQ. FT. /	0.572 ± ACRES
Lot 281	14,098 ± SQ. FT. /	0.324 ± ACRES
Lot 282	9,574 ± SQ. FT. /	0.220 ± ACRES
Lot 283	10,135 ± SQ. FT. /	0.233 ± ACRES
Lot 284	12,381 ± SQ. FT. /	0.284 ± ACRES
Lot 285	13,785 ± SQ. FT. /	0.316 ± ACRES
Lot 286	11,246 ± SQ. FT. /	0.258 ± ACRES
Lot 287	11,288 ± SQ. FT. /	0.259 ± ACRES
Lot 288	11,288 ± SQ. FT. /	0.259 ± ACRES
Lot 289	15,559 ± SQ. FT. /	0.357 ± ACRES
Lot 290	16,821 ± SQ. FT. /	0.386 ± ACRES
Lot 291	11,288 ± SQ. FT. /	0.259 ± ACRES
Lot 292	11,288 ± SQ. FT. /	0.259 ± ACRES
Lot 293	11,274 ± SQ. FT. /	0.259 ± ACRES
Lot 294	14,097 ± SQ. FT. /	0.324 ± ACRES
Lot 295	12,447 ± SQ. FT. /	0.286 ± ACRES
Lot 296	10,962 ± SQ. FT. /	0.252 ± ACRES
Lot 297	11,006 ± SQ. FT. /	0.253 ± ACRES
Lot 298	11,006 ± SQ. FT. /	0.253 ± ACRES
Lot 299	14,068 ± SQ. FT. /	0.323 ± ACRES
TRACT R	254,920 ± SQ. FT. /	5.822 ± ACRES
TRACT S	28,112 ± SQ. FT. /	0.645 ± ACRES
ROW:	207,304 ± SQ. FT. /	4.759 ± ACRES
TOTAL	1,276,971 ± SQ. FT. /	29.315 ± ACRES

DESCRIPTION:
 All of Lot 224, DAYTON CREEK, SIXTH PLAT, a subdivision of land in Spring Hill, Johnson County, Kansas, and part of the Southwest 1/4 of Section 35, Township 14 South, Range 23 East in the City of Spring Hill, Johnson County, Kansas, more particularly described as follows:

Beginning at the Northwest corner of said Lot 224; thence S 81° 46' 35" E along the North line of said Lot 224, a distance of 150.78 feet to the Northeast corner thereof, said point also being the Southeast corner of Lot 225 of said DAYTON CREEK, SIXTH PLAT; thence N 21° 06' 53" E along the East line of said Lot 225, a distance of 59.29 feet; thence N 34° 28' 31" E along the East line of Lots 225 thru 231 of said DAYTON CREEK, SIXTH PLAT, a distance of 478.46 feet; thence N 68° 57' 49" E along the East line of said Lot 231, a distance of 4.89 to the Eastern most Northeast corner of said Lot 231; thence N 70° 08' 23" E departing from the East line of DAYTON CREEK, SIXTH PLAT, a distance of 520.45 feet; thence N 57° 27' 43" E, a distance of 28.10 feet; thence S 22° 33' 04" E, a distance of 241.42 feet; thence S 9° 39' 00" W, a distance of 102.05 feet to a point on a curve; thence Easterly along a curve to the left, having an initial tangent bearing of S 80° 21' 00" E, a radius of 275.00 feet, a central angle of 13° 02' 38" and an arc length of 62.61 feet to a point of tangency; thence N 86° 36' 22" E, a distance of 59.83 feet to a point of curvature; thence Northwesterly along a curve to the left having a radius of 25.00 feet, a central angle of 90° 03' 05" and an arc length of 39.29 feet to a point of non-tangency; thence N 86° 34' 16" E, a distance of 50.00 feet; thence N 3° 26' 43" W, a distance of 112.56 feet; thence N 8° 31' 12" E, a distance of 443.49 feet to a point on the West Right-of-Way line of U.S. Highway No. 169 / K-7 Highway, as now established; thence S 2° 35' 43" E along said West line, a distance of 965.42 feet to the Northeast corner of DAYTON CREEK, THIRD PLAT, a subdivision of land in the City of Spring Hill, Johnson County, Kansas said point also being the South line of a 160' KCP&L Co. easement in Misc. Book 170 at Page 258 filed at the Register of Deeds Office in Johnson County, Kansas; thence N 81° 52' 53" W along the North line of said DAYTON CREEK, THIRD PLAT, and along the South line of said 160' KCP&L Co. easement, a distance of 1522.85 feet to the Northern corner of Lot 49 of said DAYTON CREEK, THIRD PLAT; thence S 64° 50' 31" W along the Northwesterly line of said Lot 49 and along the Northwesterly line of Tract "G" of said DAYTON CREEK, THIRD PLAT and their extension, a distance of 140.55 feet to the Northwest corner of said Tract "G" said point also being the Easterly line of Theden Street, as now established; thence N 25° 09' 29" W along the East line, of said Theden Street a distance of 82.79 feet to a point of curvature; thence Northwesterly along a curve to the right, having a radius of 470.00 feet, a central angle of 33° 22' 54" and an arc length of 273.83 feet to the Point of Beginning, containing 1,276,971 ± Sq. Ft. or 29.315 ± Acres.

DEDICATIONS:
 The undersigned proprietor of the described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision shall hereafter be known as "DAYTON CREEK, SEVENTH PLAT."

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer, electrical, poles, wires, drainage facilities, ducts and cables, and similar utility facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "UE," is hereby granted to the City of Spring Hill, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

An easement or license is hereby granted to the City of Spring Hill, Kansas, to enter upon, construct and maintain pipes, inlets, manholes and surface drainage facilities relative to storm water drainage upon, over, or under the areas outlined and designated on this plat as "Drainage Easement" or "DE."

An easement or license to lay, construct, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress and egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat is hereby dedicated to the City of Spring Hill, Kansas.

An easement is hereby granted and reserved by the undersigned proprietor of the above described land unto itself and the Dayton Creek Homes Association to enter upon, plant, replace, replant, mow, clip, trim, spray, chemically treat, repair, and otherwise maintain, and to authorize any such maintenance, of any and all grass, trees, shrubs, plants and other landscaping and all fences and monuments installed by the undersigned proprietor and by the Dayton Creek Homes Association upon, over, or under those areas outlined and designated on this plat as "Landscape Easement" of "LE."

The undersigned proprietor of said property shown on this plat does hereby dedicate those portions of the streets and roadways shown as W. 190th Terrace, W. 190th Place and Weaver Street, together with all other parcels and parts of land indicated on this plat, and not heretofore dedicated, as streets, terraces, roads, drives, lanes, avenues, courts, places, etc., for public use as public ways or thoroughfares; subject to the right hereby reserved to the present owner and its successors and assigns for the location, construction and maintenance of conduits, water, gas and sewer pipes, poles and wires under, over and along said roadways.

The undersigned proprietor of said property shown on this plat hereby certifies that all prior existing easement rights on land to be dedicated for public use and public ways and thoroughfares running to any person, utility or corporation have been absolved except that same person, utility or corporation shall retain whatever easement rights they would have as if located in a public street.

The undersigned proprietor of the above described tract of land hereby consents and agrees that the Board of County Commissioners of Johnson County, Kansas, and the City of Spring Hill, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessments, and that the amount of the unpaid special assessment on such land dedicated shall become and remain a lien on the remainder of the land fronting or abutting on such dedicated public ways or thoroughfares.

RESTRICTIONS
 Tracts "R" and "S" are to be owned and maintained by the Dayton Creek Homes Association. Any walking trails, parks or recreational amenities on these tracts are hereby authorized for use by the General Public.

IN TESTIMONY WHEREOF, the undersigned proprietor has hereunto subscribed their name.
 PV Investments, LLC, a Kansas limited liability company

Bradley D. Vince, Manager
 STATE OF _____)
 COUNTY OF _____) SS

This instrument was acknowledged before me on this ___ day of _____, 2020 by Bradley D. Vince, Manager, of PV Investments, LLC.

Notary Public
 Printed Name: _____ My Appointment Expires: _____

APPROVED BY, the Planning Commission of the City of Spring Hill, Kansas, this ___ day of _____, 2020.

Stephen Sly, Chairman

APPROVED BY, the Governing Body of the City of Spring Hill, Kansas, this ___ day of _____, 2020.

Attest:
 Steven M. Ellis, Mayor
 Glenda Gerrity, City Clerk

CURVE TABLE

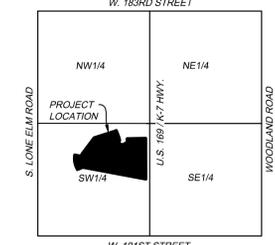
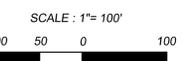
LENGTH	RADIUS	DELTA	ITB
C1	62.61'	275.00'	13° 02' 38"
C2	39.29'	25.00'	90° 03' 05"
C3	3.79'	1000.00'	0° 13' 03"

LINE TABLE

LINE	BEARING	LENGTH
L1	N 86° 36' 22" E	59.83'
L2	N 86° 34' 16" E	50.00'

I hereby certify that the information shown hereon is based on a field survey performed under my supervision on March 2020.

By: _____
 THOMAS M. SMITH, KS. LS-759



GENERAL NOTE:
 Bearing shown hereon are base on the State Plane Coordinate System NAD 1983, Kansas North Zone. CAF=0.999943460.
 Error of boundary closure exceeds 1:50,000.

FLOOD NOTE:
 Flood lines shown hereon are approximate. This property lies within Flood Zone X, defined as areas determined to be outside the 0.2% annual chance Floodplain, as shown on the Flood Insurance Rate map prepared by the Federal Emergency Management Agency's National Flood Insurance Program for the City of Spring Hill, Johnson County, Kansas, Map number 20091C0123G and dated August 3, 2009.

McCLURE ENGINEERING COMPANY
 11031 STRANG LINE ROAD
 LENEXA, KANSAS 66215
 (913) 888-7800 WWW.MECRESULTS.COM

DEVELOPER:
 PV INVESTMENTS, LLC
 10103 METCALF AVE.
 OVERLAND PARK, KANSAS 66212
 PHONE NO. 913-468-7033

**SPRING HILL PLANNING COMMISSION
SITE PLAN STAFF REPORT**

Agenda Item #9

Case #: SP-000013-2020 **Meeting Date:** June 4, 2020

Description: Site Plan – Peach State Roofing
Location: 19069 Madison St.
Applicant: K&S Realty
Engineer/Architect: Abeln & Associates Architects, P.A. – Mark Abeln
Site Area: 1.0 Acres +/-

Minimum Lot Area: N/A **Related Case:**

Current Zoning: C-2 **Proposed Use:** Commercial Office/Warehouse

	Current Zoning	Existing Land Use	Future Land Use Map
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Site:	C-2	Agricultural	Mixed - Use Commercial
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North:	M-1	Agricultural	Industrial
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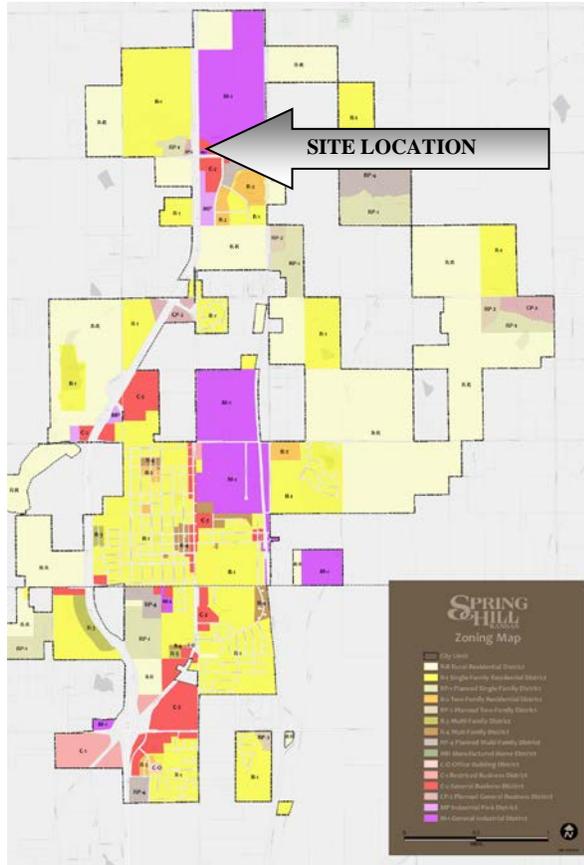
South:	C-2	Vacant	Mixed-Use Commercial
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East:	C-2	Vacant	Mixed-Use Commercial
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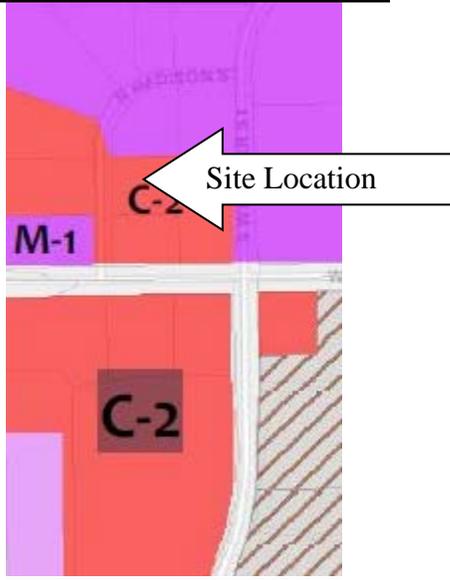
West:	C-2	Vacant	Mixed-Use Commercial
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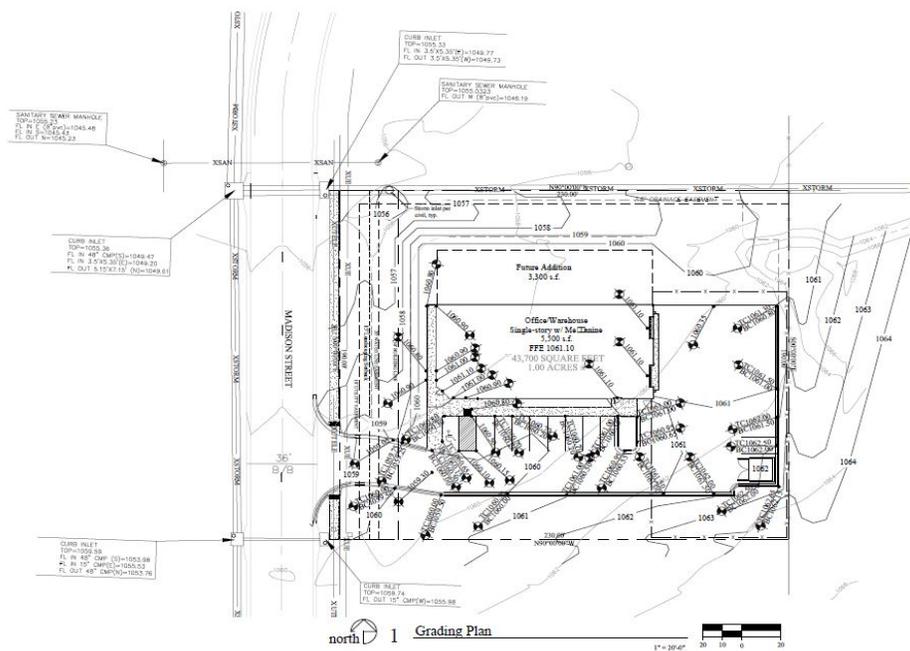
Proposed Use: Commercial C-2

Site Location



AREA ZONING (CITY)






 Africa A. Ambruster
 Professional Engineer, P.E.
 No. 173,102, State of Kansas

KWEMLA

PEACH STATE ROOFING
 Lot 14 County Meadows
 Springmill, Kansas

Project - 2020

DATE
 April 23, 2020
 Revision

SHEET NUMBER
SP-2

The site follows the Spring Hill Subdivision Regulations.

3. *The extent to which the development would be compatible with the surrounding area.*

The project is compatible with the surrounding area which is industrial in use.

4. *The extent to which the proposal conforms to the recommendations of the Spring Hill Comprehensive Plan including but not limited to the Vision Plan, the Community Development Recommendations, and the Planning and Principles and Design Guidelines.*

The proposed site plan and use meets the C-2 requirements with staff and consultant comments implemented.

5. *The extent to which the proposal conforms to customary engineering standards used in the City.*

The overall project has been designed by recognized and licensed architects and engineers

ADDITIONAL REVIEW CRITERIA:

1. A stormwater study was provided with the application and was reviewed by City Engineer. Comments from this review were forwarded to the design team and changes are being implemented into the design as applicable.
2. Site plan indicates 8 parking stalls and 1 Handicap. The code requires 4 and 1. This is following the required 1 per 1500 sq. ft. of building square footage required by the zoning code.
3. The erosion control plan is identified with in the excavation plans submitted to the City Engineer. Since the size of the area that is being disturbed is greater than one acre, the applicant has submitted a Notice of Intent for storm water discharges associated with construction activity under the National Discharge Elimination System and the City Engineer.
4. The required detention basin is an area basin along Hwy 169 for the plat.
5. Park fee in the amount of \$4,370.00 will be due at time of issuing building permit.

Planning Commission Review and Action: Upon review of the site plan application the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

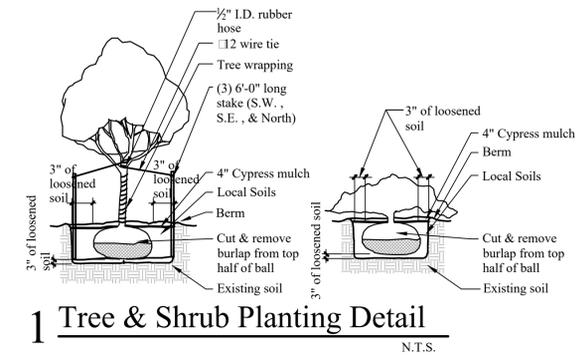
RECOMMENDATION:

It is the recommendation of staff that the Planning Commission recommend approval of site plan SP-000013-2020, for the Peach State Roofing Site Development Plan.

Suggested Motion: Motion to recommend approval of site plan application SP-000013-2020, for Peach State Roofing, as presented by staff.

Attachments: Site Development Plan

Landscape Schedule					
Key	Common Name	Botanical Name	Quantity	Size	Condition
NWS	Spruce - Norway	Picea abies	3	6'-8' high	Ball and Burlap
BKG	Gum - Black	Nyssa sylvatica	3	2-1/2" caliper	Ball and Burlap
GKG	Ginkgo	Ginkgo biloba	3	2-1/2" caliper	Ball and Burlap
ZKV	Zelkova	Zelkova serrata	3	2-1/2" caliper	Ball and Burlap
KFC	Cherry - Kwan'an Flowering	Prunus serrulata	1	6'-8" tall & 1" cal.	Potted
WNB	Boxwood - Wintergreen	Buxus sinica var. insularis 'Wintergreen'	12	12" - 18" high	Potted
FBS	Spirea - Frobelii	Spiraea bumalda 'Frobelii'	5	12" - 18" high	Potted
SSG	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	6	1 gallon	Potted
LBB	Liriope - Big Blue	Liriope muscari 'Big Blue'	30	1 gallon	Potted
PCS	Phlox - Candy Stripe Creeping	Phlox subulata 'Candy Stripe'	7	1 gallon	Potted

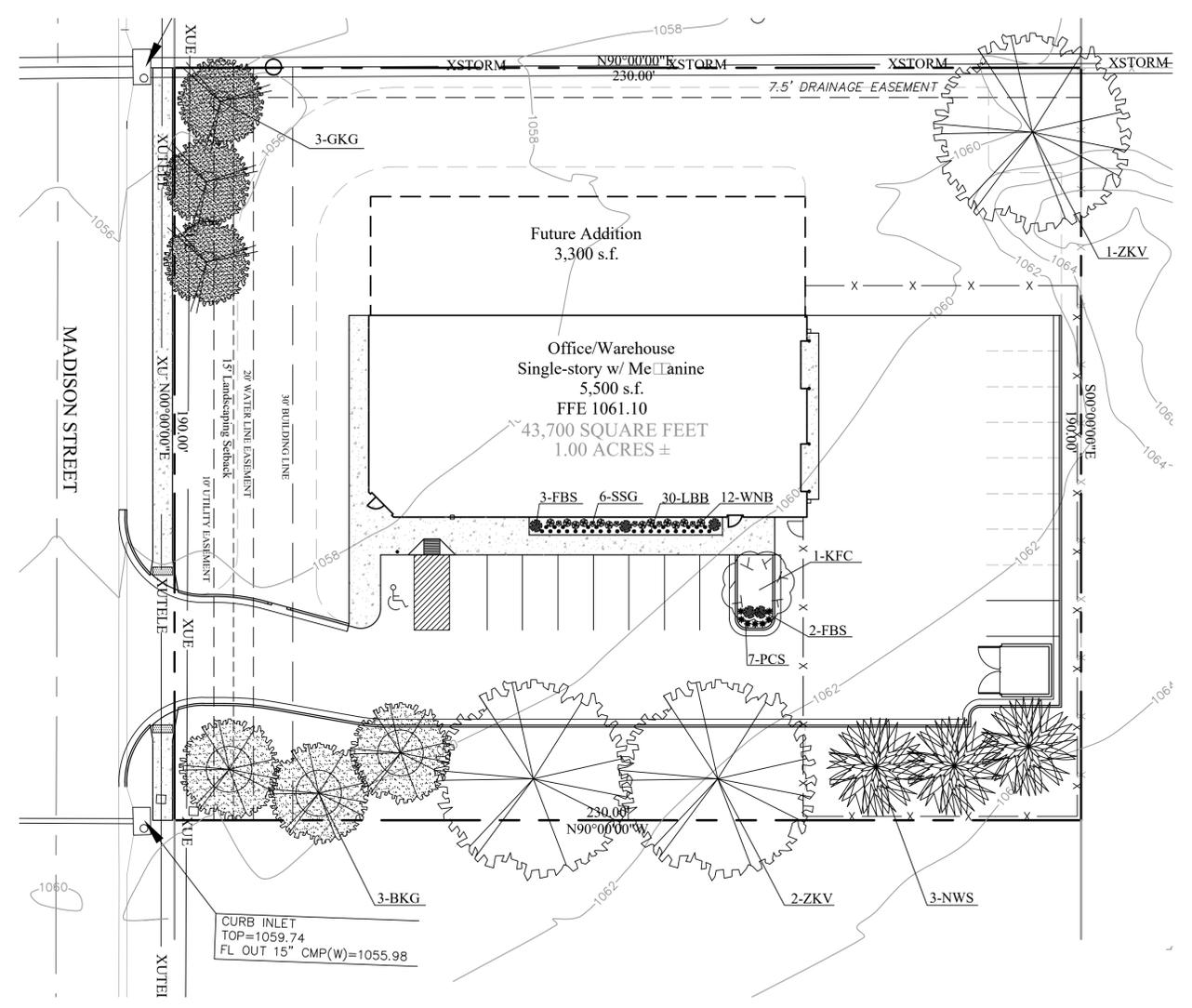


Landscape Calculations - C2 ZONING

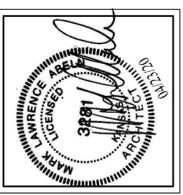
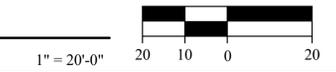
	Req'd	Provided
1 Tree / 40' of street (in front setback)	4	4
1 Tree / 3000 sq. ft. of landscape open area	8	8
Landscape open area:	23,450 s.f.	
(Open area less future addition/drive	12,405 s.f.)	
No existing trees on site		
Shade tree min size 2-1/2" cal.		
Ornamental Trees 1" to 1-1/2" cal.		
Conifers 6'-8'		
Upright Evergreens 6'-8'		
6% of int. pkg. lot landscape	162 sq.ft.	165 sq.ft. interior peninsula
(270 / space x 10 spaces)		
(2,700 x .06 = 162 sq. ft.)		

General Notes

- Provide a lawn irrigation system for the lawn and planting areas per city regulations. General Contractor shall be responsible for the design, engineering, coordination and installation of the lawn irrigation sprinkler system including installation of PVC sleeves under pavement as necessary.
- Provide (1) 3" PVC conduit to all islands for future utilities and/or irrigation.
- All disturbed areas and grass lawn areas shall be sodded with K-31 tall fescue, unless a lawn sprinkler system is installed, in which case lawns may be seeded with a straw broadcast over seed.
- All islands and peninsula's in the parking lots shall be 9'-0" wide per city regulations and shall mound up topsoil @ 1:4 slope (rise:run). Slope shall start 3" below top of curb to allow for mulch. Install 3" of cypress mulch in all islands, peninsula's and planter areas.



1 Landscaping Plan



KWE/MLA

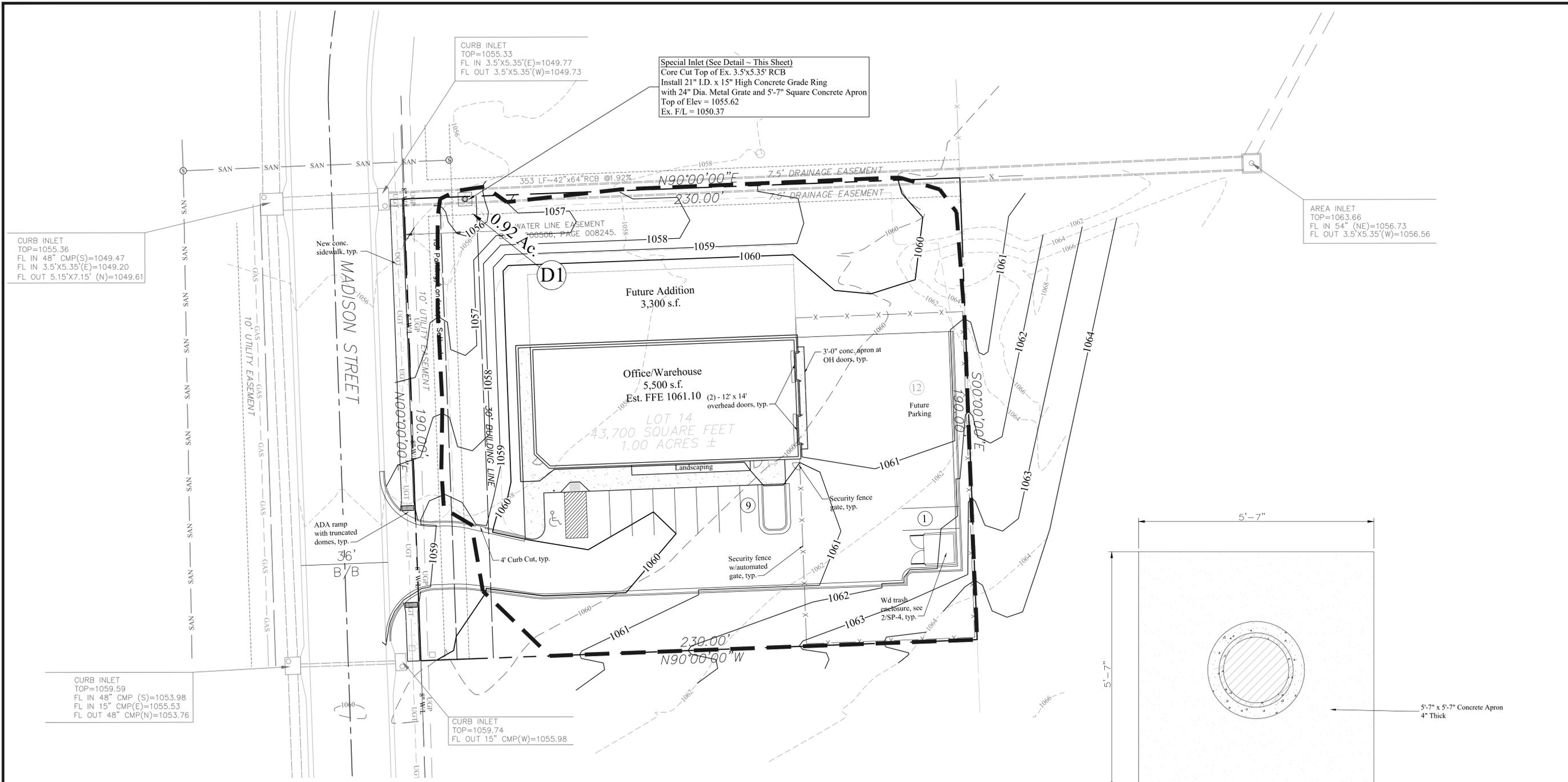
PEACH STATE ROOFING
 Lot 14 Country Meadows
 Springhill, Kansas

Project # - 20009

DATE
 April 23, 2020
 revisions

SHEET NUMBER
SP-3
 Landscape Plan

BY	DESCRIPTION
NO.	DATE



CURB INLET
TOP=1055.36
FL IN 48" CMP(S)=1049.47
FL IN 3.5'x5.35'(E)=1049.20
FL OUT 5.15'x7.15' (N)=1049.61

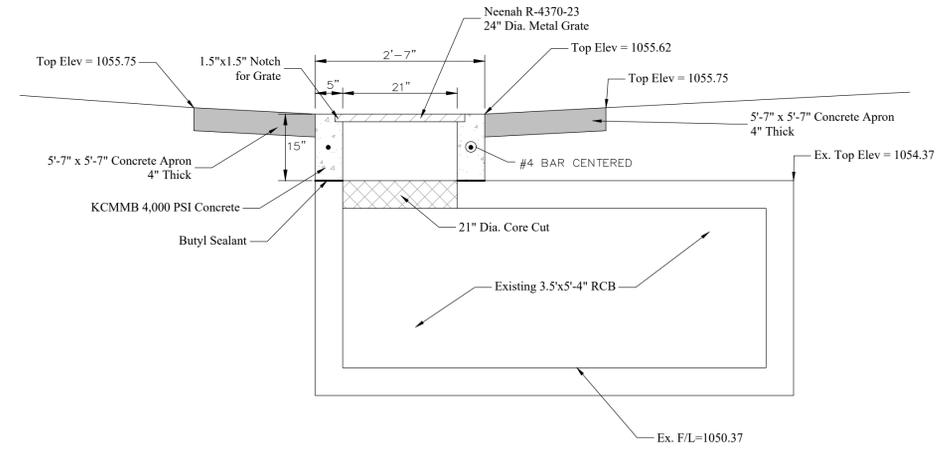
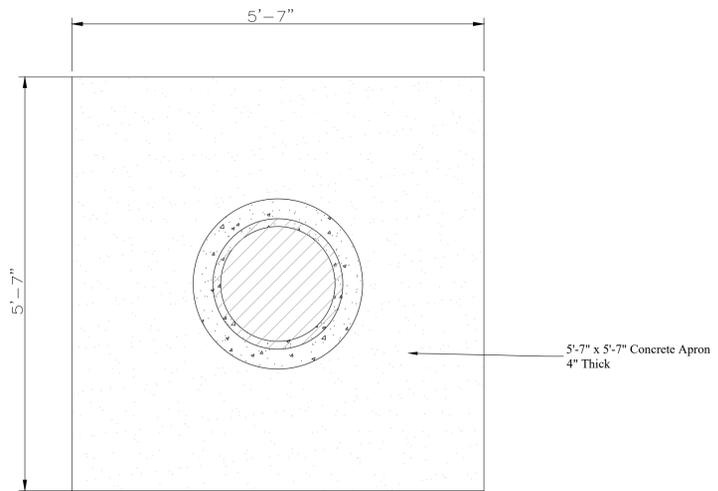
CURB INLET
TOP=1055.33
FL IN 3.5'x5.35'(E)=1049.77
FL OUT 3.5'x5.35'(W)=1049.73

Special Inlet (See Detail ~ This Sheet)
Core Cut Top of Ex. 3.5'x5.35' RCB
Install 21" I.D. x 15" High Concrete Grade Ring
with 24" Dia. Metal Grate and 5'-7" Square Concrete Apron
Top of Elev = 1055.62
Ex. F/L = 1050.37

AREA INLET
TOP=1063.66
FL IN 54" (NE)=1056.73
FL OUT 3.5'x5.35'(W)=1056.56

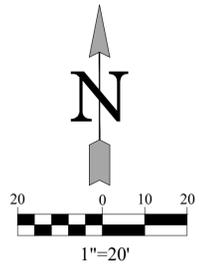
CURB INLET
TOP=1059.59
FL IN 48" CMP (S)=1053.98
FL IN 15" CMP(E)=1055.53
FL OUT 48" CMP(N)=1053.76

CURB INLET
TOP=1059.74
FL OUT 15" CMP(W)=1055.98

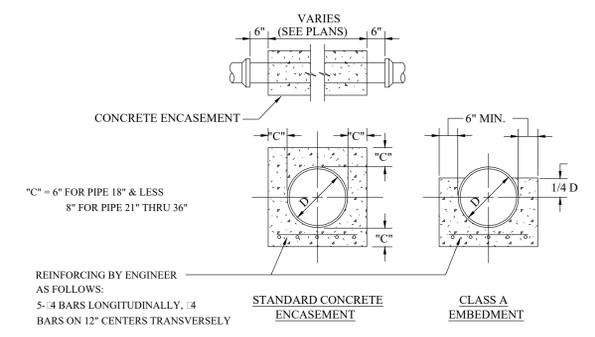
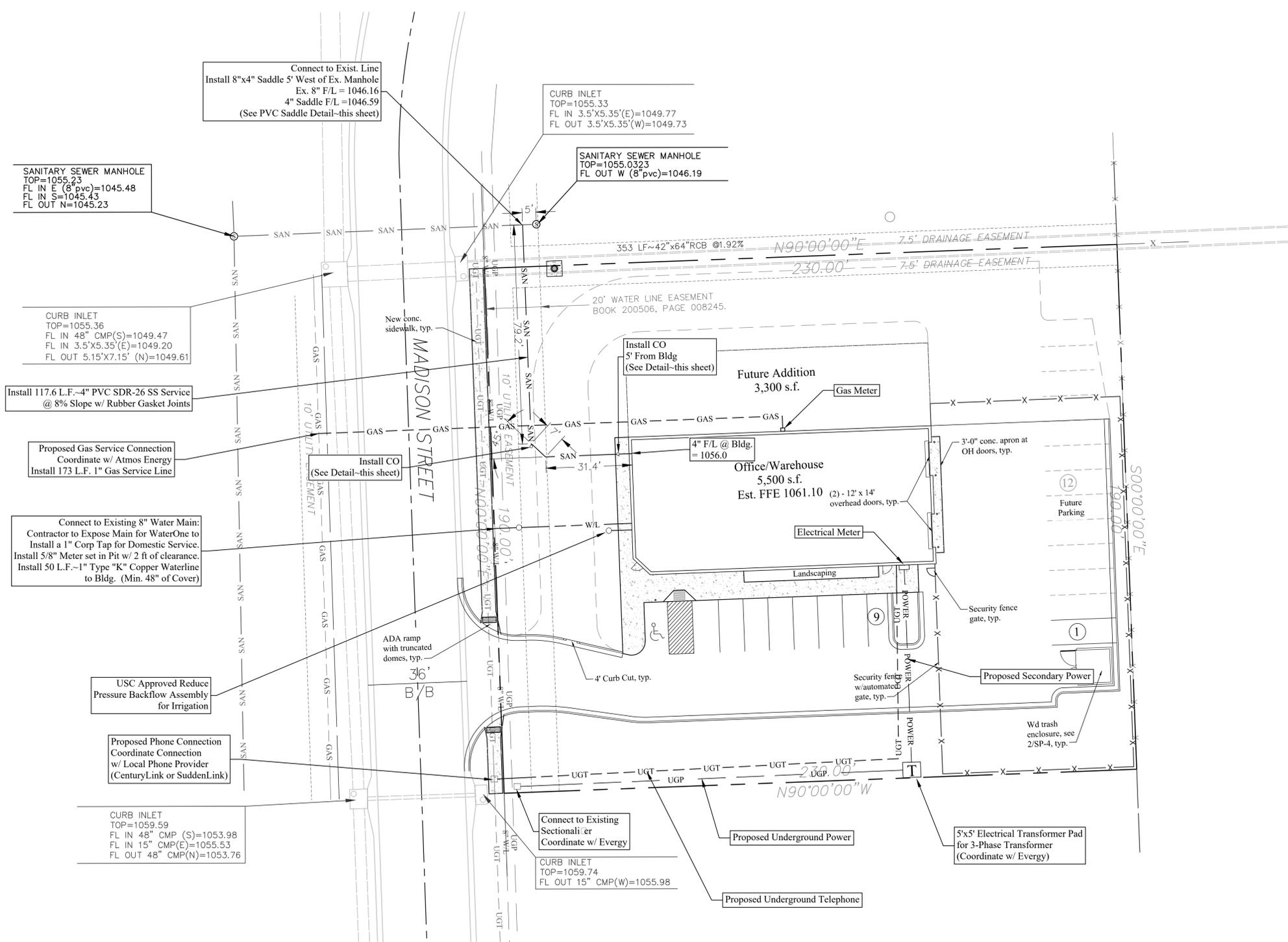


SPECIAL INLET DETAIL

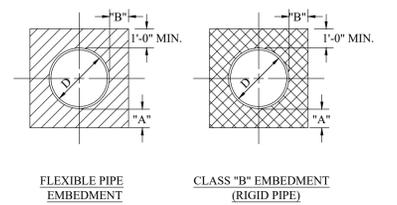
STORM DRAINAGE TABLE FOR PROPOSED				DESIGN CRITERIA						
				STORM FREQUENCY - 2, 10 & 100						
				Q = KCIA						
				K ₂ & K ₁₀ =1.00, K ₁₀₀ =1.25						
DRAINAGE AREA	RUNOFF COEF "C"	INCREM AREA (ACRES)	ACRES X "C"	TIME OF CONC. (min)	2-yr RAINFALL INTENSITY INCHES/HR	2-yr RUNOFF (CFS)	10-yr RAINFALL INTENSITY INCHES/HR	10-yr RUNOFF (CFS)	100-yr RAINFALL INTENSITY INCHES/HR	100-yr RUNOFF (CFS)
D1	0.80	0.92	0.74	10.0	4.41	3.26	6.07	4.49	8.59	7.95



NO.	DATE	DESCRIPTION



TYPE	P	LOAD FACTOR
REINFORCED	0.40%	3.5
REINFORCED	1.00%	4.8
PLAIN		2.8



D	ROCK		SOIL	
	A	B	A	B
4"-18"	6"	6"	4"	6"
21"-24"	9"	9"	4"	7"
27"-30"	9"	9"	4"	8"

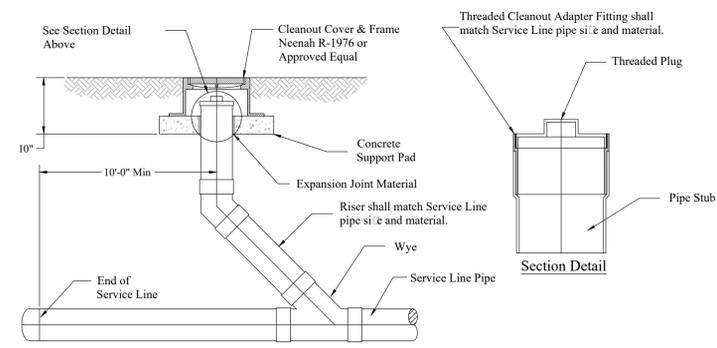
D NOMINAL PIPE SIZE
 A FILL BELOW PIPE (SEE TABLE)
 B SIDE CLEARANCES (SEE TABLE)
 P AREA TRANSVERSE STEEL EXPRESSED AS A % OF AREA OF CONCRETE AT CROWN

STANDARD EMBEDMENTS
REFER TO TECHNICAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
N.T.S.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF THE UNDERGROUND UTILITIES, CALL 1-800-344-7233 (KANSAS) OR 1-800-344-7483 (MISSOURI).

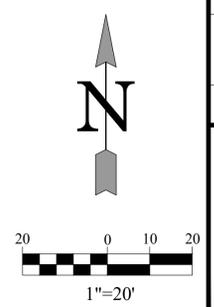
UTILITY COMPANIES:

EVERGY	(800) 383-1183
ATMOS ENERGY	(888) 286-6700
WATERONE	(913) 895-1800
SPRINGHILL - WASTEWATER	(913) 592-3317
CENTURYLINK	(855) 234-1903
SUDDEN LINK	(877) 694-9474



CLEANOUT DETAIL

- WATER LINE GENERAL NOTES**
- All Taps To The Water Main Are To Be 5' Minimum From Any Pipe Joint In The Water Main Or Other Raps On The Water Main.
 - All Service Lines Must Be Installed At A 90° Angle From The Water Main To The Meter Pit Or Valve.
 - 5' Minimum Separation Of Meter Pits And Back Flow Vaults.
 - 5' Minimum Separations Of Water Service Lines And Back Flow Vaults.
 - Hydrostatic Testing And Flushes Shall Be Completed With The Fire Department As A Witness.



UTILITIES

Utilities are shown as a convenience for the contractor. The locations of all aerial and underground facilities may not be indicated on these plans. Underground utilities, whether indicated or not, will be located by the utility companies at the contractor's request. No excavation will be permitted in the area of the underground utilities until all facilities have been located and identified to the satisfaction of all parties and then only with extreme care to avoid any possibility of damages to the facilities. The contractor shall bear the entire cost of damage to any underground utility damaged by construction operations.

Verify all existing conditions. Any discrepancy between existing conditions and those shown on the drawings shall be immediately brought to the attention of the engineer. Field verify any dimensions.

Minimum allowable horizontal clearance between sanitary sewer mains and services and water mains and services should be 10'. The dimensions are measured from the outer edge of pipes.

All parking lot lights are to be sharp cut off lighting.

KANSAS ONE-CALL:
1-800-DIG-SAFE
(1-800-344-7233)

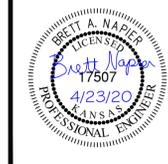
Protect yourselves and your property against underground utility damage and liability. Find out where the underground utility lines might be buried before you dig.

Anyone digging in Kansas must call before digging. The person who is doing the work is responsible for calling KOC. If the owner contracts with a professional excavator to do the excavation then the professional excavator is responsible for calling KOC.

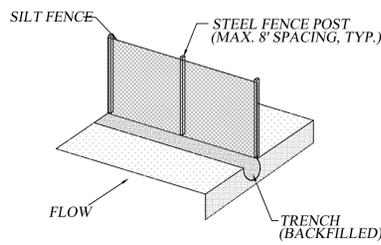
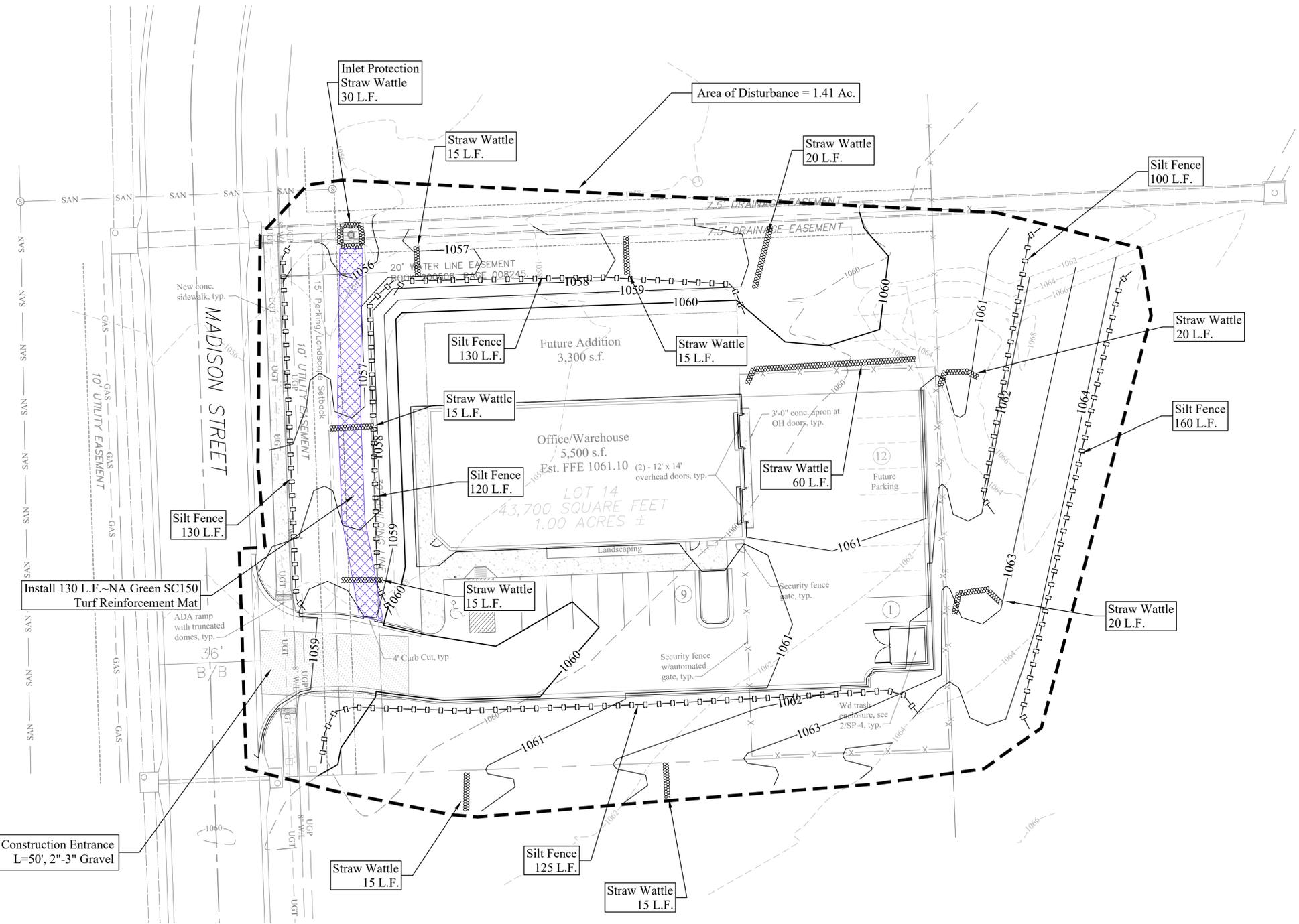
You (the digger) will need to provide information about the work site when you call. This is a FREE service.

CALL BEFORE YOU DIG
IT'S THE LAW.
Chapter 66--PUBLIC UTILITIES
Article 18--UTILITY DAMAGE PREVENTION

NO.	DATE	DESCRIPTION

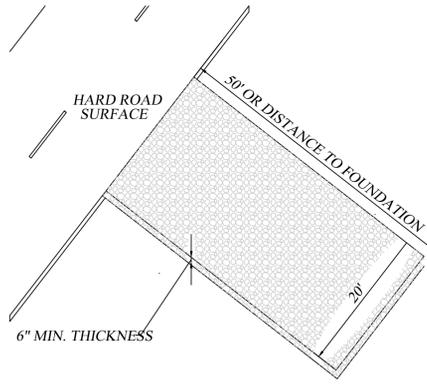


- GENERAL NOTES:
1. THE INTENT OF ALL EROSION CONTROL DEVICES IS TO PREVENT ERODED SOIL FROM ENTERING DITCHES, STORM SEWERS, LAKES, STREETS OR ANY OTHER DRAINAGE FEATURE.
 2. THIS SHEET IS INTENDED TO PROVIDE GUIDELINES AS TO WHAT TYPE OF EROSION CONTROL DEVICES WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS. CONTRACTORS ARE EXPECTED TO BID PROJECTS ACCORDINGLY.
 3. EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS TO REMAIN EFFECTIVE. MAINTENANCE SHALL BE AS INDICATED ON SOIL EROSION BMP'S DETAIL SHEETS.
 4. PERSONS DESTROYING EROSION CONTROL DEVICES SHALL BE RESPONSIBLE FOR IMMEDIATELY REPAIRING THEM OR INSTALLING SUITABLE REPLACEMENT DEVICES.
 5. THE DEVELOPMENT OF ANY SUBDIVISION THAT DISTURBS 1 ACRE OR MORE WILL REQUIRE A FEDERAL/STATE NPDES STORM WATER PERMIT. THE PREPARATION OF A STORM WATER POLLUTION PREVENTION PLAN IS REQUIRED. EROSION CONTROL DEVICES ARE REQUIRED. THE DETAILS SHOWN ON THIS SHEET ARE THE MINIMUM STANDARDS TO BE SHOWN ON POLLUTION PREVENTION PLANS.
 6. FOR SUBDIVISIONS SMALLER THAN 1 ACRE, SOIL EROSION DEVICES ARE REQUIRED. ALSO, DEVELOPERS AND CONTRACTORS ARE ENCOURAGED TO DEVELOP POLLUTION PREVENTION PLANS FOR EACH PROJECT PRIOR TO CONSTRUCTION.
 7. FAILURE TO USE AND MAINTAIN SOIL EROSION DEVICES IS A VIOLATION OF ENVIRONMENTAL PROTECTION AGENCY LAW AND WILL SUBJECT THE SUBDIVISION DEVELOPER AND CONTRACTORS TO THE PENALTIES PROVIDED THEREIN.
 8. THE APPLICATION OF EROSION CONTROL DEVICES SHOWN ON THIS SHEET IS FOR SITUATIONS NORMALLY ENCOUNTERED. FROM TIME TO TIME, SITUATIONS WILL ARISE THAT MAY REQUIRE DEVICES OTHER THAN THAT SHOWN. EROSION CONTROL DEVICES, OTHER THAN THOSE SHOWN, MAY BE UTILIZED SO LONG AS THEY ARE EFFECTIVE AND MAINTAINED.
 9. A STABILIZED EARTH SURFACE IS DEFINED AS ONE THAT IS HARD SURFACED WITH CONCRETE, ASPHALT, OR THE LIKE, OR ONE ON WHICH 70% OF THE GRASS HAS GERMINATED ON THE ENTIRE SURFACE.



- CONSTRUCTION SPECIFICATIONS**
1. Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source.
 2. Silt Fence shall be trenched in with a spade or mechanical trencher so that the downslope face of the trench is flat and perpendicular to the line of flow.
 3. The trench should be a minimum of 6" deep and 3-4" wide to allow for the silt fence to be laid in the ground and backfilled.
 4. Silt Fence should be securely fastened to each steel support post or to woven wire which is in turn attached to the steel fence posts.
 5. Inspection shall be frequent and repair or replacement shall be made promptly as needed.
 6. Silt Fence shall be removed when it has served its usefulness so as not to block or impede storm flow or drainage.
 7. Sediment trapped by this practice shall be uniformly distributed on the source area prior to topsoiling.
 8. The Erosion Control shown shall be Silt Fence. Additional Erosion Control provided by contractor may be Straw Bale Dike.

SILT FENCE DETAIL



- NOTES:**
1. INSTALL AS SOON AS POSSIBLE AFTER START OF GRADING.
 2. USE 2 TO 3 INCH AGGREGATE STONE.
 3. DRIVE MUST BE AT LEAST 20 FEET WIDE AND 50 FEET LONG OR THE DISTANCE TO THE FOUNDATION, WHICHEVER IS LESS.
 4. REPLACE AS NEEDED TO MAINTAIN 6 INCH DEPTH.

GRAVEL CONSTRUCTION ENTRANCE DETAIL

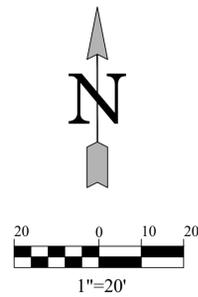
LEGEND

- o-o-o-o- DENOTES SILT FENCE
- DENOTES LIMITS OF DISTURBANCE
- DENOTES 12" DIA. STRAW WATTLES
- DENOTES 8' WIDE NA GREEN SC 150 TRM

- EROSION CONTROL NOTE:**
1. ALL TREES LOCATED IN THE AREA OF DISTURBANCE SHALL BE REMOVED & DISPOSED BY CONTRACTOR.
 2. SILT FENCE OR COIR LOGS WILL BE PLACED AROUND THE PERIMETER BEFORE ANY CLEARING OR GRADING ACTIVITIES.
 3. ALL DISTURBED AREAS SHALL BE MULCHED AND SEEDED AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.
 4. SILT FENCE MAY BE SUBSTITUTED FOR COIR LOGS.
 5. STABILIZE DISTURBED AREAS WITH MULCH OR SIMILARLY EFFECTIVE SOIL STABILIZING MEASURES WHEN ACTIVITIES ARE CEASED AND WILL NOT RESUME FOR OVER 14 DAYS.

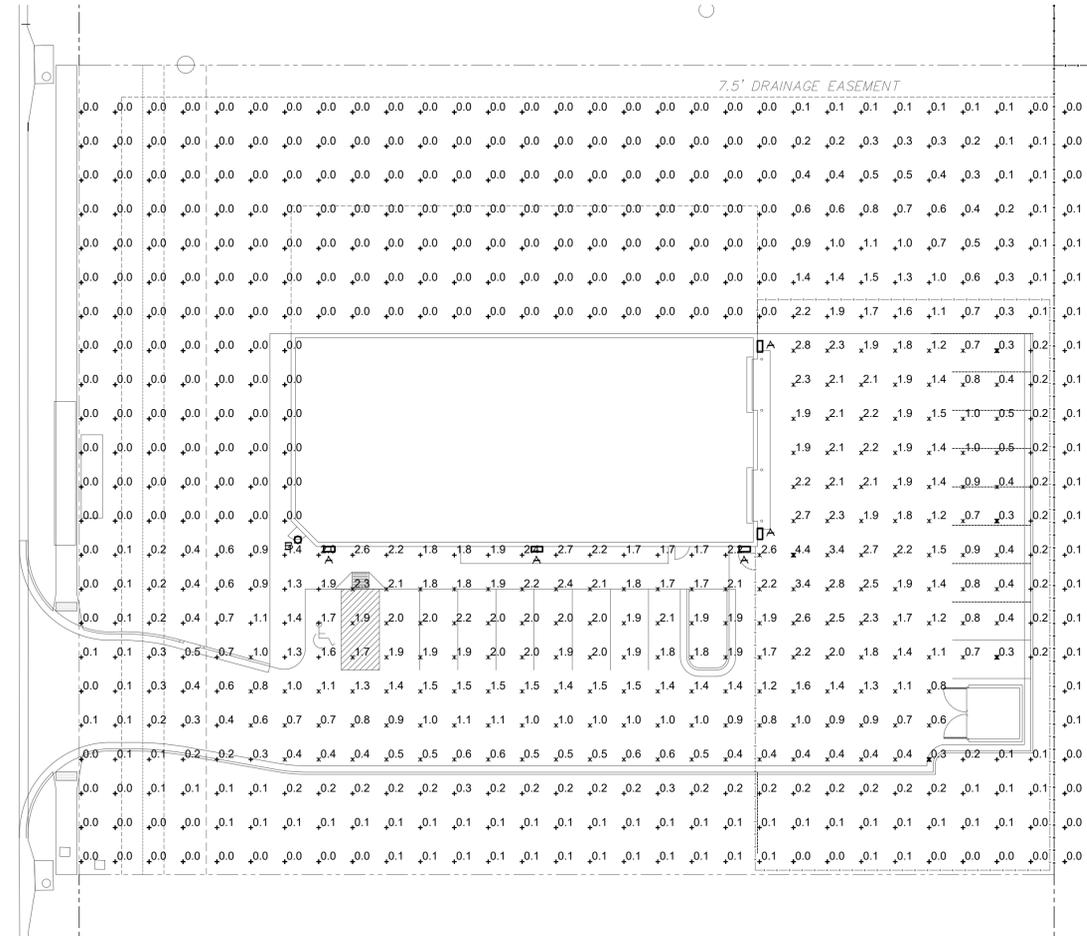
NOTE: ALL DISTURBED AREAS SHALL BE MULCHED AND SEEDED AFTER GRADING ACTIVITIES HAVE BEEN COMPLETED.

- SITE INSPECTION SCHEDULE:**
- Once every 7 days & within 24 hrs after a precipitation event of 0.5" or greater



LIGHT FIXTURE SCHEDULE					
MARK NO.	MANUFACTURER & CATALOG NUMBER	VOLTS WATTS	LIGHT SOURCE	DESCRIPTION	EQUIVALENT MANUFACTURERS
A	LITHONIA DSXW11-LED-20C-1000-30K-TFTM-MVOLT-H5	120 74	LED 7600LUM 3000K	WALL MOUNTED FULL CUTOFF LED AREA LIGHT WITH FORWARD THROW DISTRIBUTION AND HOUSE SIDE SHIELD. WALL MOUNT ON BUILDING 15'-0" ABOVE GRADE, REFER TO ARCHITECTURAL ELEVATIONS	LUMARK KIM OR EQUAL
B	LITHONIA WF6-LL-LED-30K-MW	120 3	LED 800LUM 3000K	6"Ø LED DOWNLIGHT WITH WHITE TRIM	LUMARK KIM OR EQUAL

STATISTICAL AREA SUMMARY					
AREA	AVG FC	MAX FC	MIN FC	MAX/MIN	AVG/MIN
PARKING	1.5	4.4	0.3	14.7	5.0
ENTIRE SITE	0.6	4.4	0.0	N/A	N/A



SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'



ENGINEERS INCORPORATED
5720 Reeder
Shawnee, KS. 66203
(913)262-1772

This drawing has been prepared by the Engineer, or under his supervision. This drawing is provided as an instrument of service by the Designer/Engineer and is intended for the use on this project only. Pursuant to the Architectural Works Copyright Protection Act of 1990, all drawings, specifications, ideas and designs, including the overall form, arrangement and composition of spaces and elements appearing herein, constitute the original, copyrighted work of the Designer/Engineer. Any reproduction, use, or disclosure of information contained herein without prior written consent of the Engineer is strictly prohibited.
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PE COA #E-359

4/23/2020



BC PROJECT #20353

A PROJECT FOR:
PEACH STATE ROOFING
LOT 14
COUNTRY MEADOWS
SPRING HILL, KS

ISSUE DATE:

4-23-2020

REVISION:

SHEET TITLE

SITE PHOTOMETRIC PLAN

PH1

ALTA / NSPS LAND TITLE SURVEY

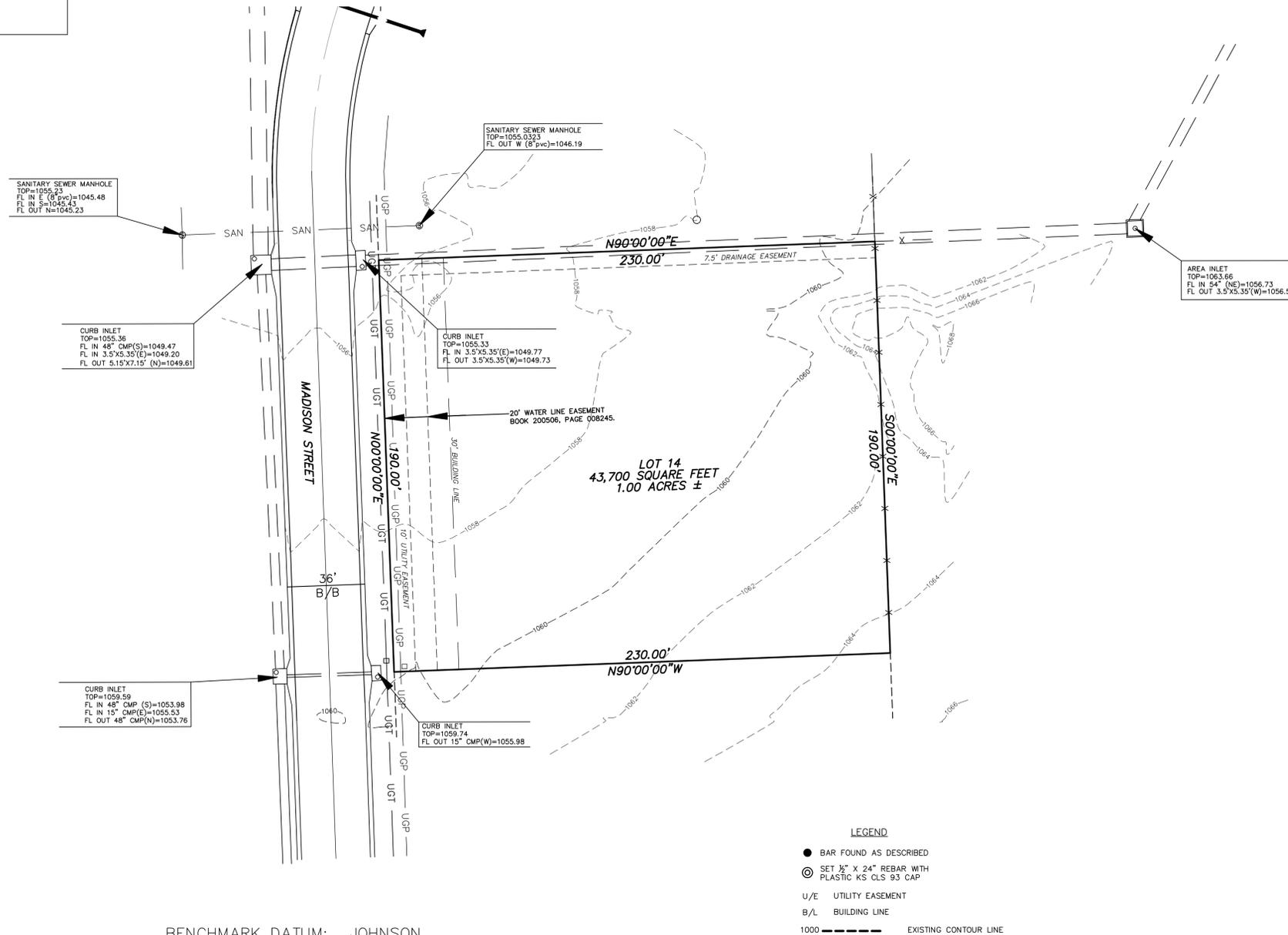
COUNTRY MEADOWS INDUSTRIAL PARK 4TH PLAT, LOT 14
SPRING HILL, JOHNSON COUNTY, KANSAS

Legal Description Per Title Commitment: Lot 14, Country Meadows Industrial Park, 4th Plat, a subdivision in the City of Spring Hill, Johnson County, Kansas.

BEARINGS BASED ON FINAL PLAT OF COUNTRY MEADOWS INDUSTRIAL PARK 4TH PLAT.

LEGEND

	WATER VALVE		ST — STORM SEWER
	FIRE HYDRANT		SS — SANITARY SEWER
	STORM YARD INLET		W — WATER MAIN
	SANITARY MANHOLE		EX ST — EXISTING STORM SEWER
	STORM MANHOLE		EX SS — EXISTING SANITARY SEWER
	CURB INLET		EX W — EXISTING WATER MAIN



TITLE REPORT FURNISHED BY: SECURITY FIRST TITLE
COMMITMENT NO. 2350809, DATED FEBRUARY 5, 2020 AT 7:00 AM

ITEMS OF SCHEDULE B:

1. Easements, restrictions, setback lines or servitudes, if any, reflected on the plat of 9, said land recorded September 24, 2002 in Plat Book 126, Page 40, or otherwise appearing in the public records. (Shown on drawing)
2. Covenants, conditions, restrictions, easements and assessments contained in Book 3168, Page 786.
3. Terms and provisions of the Homes Association Declaration recorded in Book 3168, Page 786, which provides for, among other things, the levy of assessments, which if unpaid, may become a lien thereon.
4. Terms and provisions of Resolution No. 284 authorizing street construction, recorded February 14, 1990 in Book 3124, Page 382, which provides for the levy of assessments in connection therewith.
5. Terms and provisions of Resolution No. 510 authorizing certain Internal City Improvements, recorded February 21, 2003 in Book 8676, Page 342, which provides for the levy of assessments in connection therewith.
6. Easement granted to Water District No. 1 of Johnson County (Kansas) recorded June 17, 2005 in Book 200506, Page 008245. (Shown on drawing)
7. Terms and provisions of Resolution No. 572, Resolution No. 597, and Ordinance No. 2008-08, recorded November 9, 2005 in Book 200511, Page 004105; October 5, 2006 in Book 200610, Page 002122; and May 13, 2008 in Book 200805, Page 004273, which provide for the levy of assessments in connection therewith.
8. Terms and provisions of Resolution No. 574, Resolution No. 599, and Ordinance No. 2012-09, recorded October 5, 2006 in Book 200610, Page 002120; September 16, 2009 in Book 200909, Page 004292; and May 29, 2012 in Book 201205, Page 009846, which provide for the levy of assessments in connection therewith.
9. Terms and provisions of the Declaration of Restrictive Covenant recorded May 5, 2015 in Book 201505, Page 001056.

SURVEYOR'S NOTES:

1. There is no visible evidence of earth moving or construction
2. There is no visible evidence of street or sidewalk repairs or construction
3. There is no visible evidence of wetlands
4. Madison Street and 191st Street are Public Ways.
5. Current Land Owner – M Kelly Realty LLC
6. This property is not in a flood plain per Firm Map No. 20091C0123G Revised Aug 3, 2009
7. Total Land Area = 43,700 or 1.00 acres more or less
8. This property lies in zone X, areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

Kansas One Call ticket no. 20121920 dated 03/24/2020

Apparent water line lies inside the water line easement. No water lines were located with this survey

Surveyor does not warrant size, type, depth of utilities located unless otherwise stated.

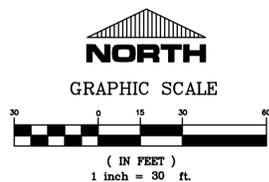
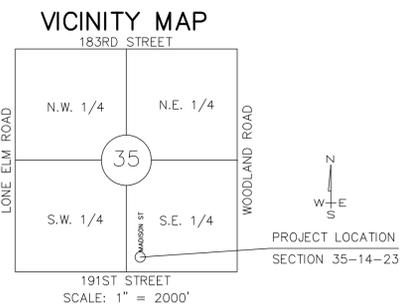
To Abeln Architects, Security First Title, its affiliates, successors and/or assigns.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,3,4,5,8,11,19,20 and 21 of Table A thereof. The fieldwork was completed on 03-02-2020.



Robert M. Layton, Professional Land Surveyor, KS 1266

Date Prepared: 03-30-2020



PREPARED FOR:
ABELN ARCHITECTS
11827 W 112th Street, Suite 102
Overland Park, Kansas 66210
PHONE: 913-345-8833

PREPARED BY:
ALLENBRAND-DREWS & ASSOCIATES, INC.
122 N. WATER STREET
OLATHE, KANSAS 66061
PHONE: (913) 764-1076
FAX: (913) 764-8635
PREPARED ON: 07-13-18



CIVIL ENGINEERS
LAND SURVEYORS - LAND PLANNERS
122 N. WATER STREET
OLATHE, KANSAS 66061
PHONE: (913) 764-1076 ALLENBRAND-DREWS.COM

T:\DRAWINGS\33000\33064-Abeln Country Meadows 4th Plat.dwg Scale=1:50 Drawn April 01, 2020 - 11:53am By: Blb

**SPRING HILL PLANNING COMMISSION
SITE PLAN STAFF REPORT**

Case #: SP-000005-2020 **Meeting Date:** June 4, 2020

Description: Boulder Springs Subdivision Community Pool and Clubhouse

Location: 196th St. and Emerald St. Boulder Springs, Tract C

Applicant: Rose Design Build - Tyler Hiatt

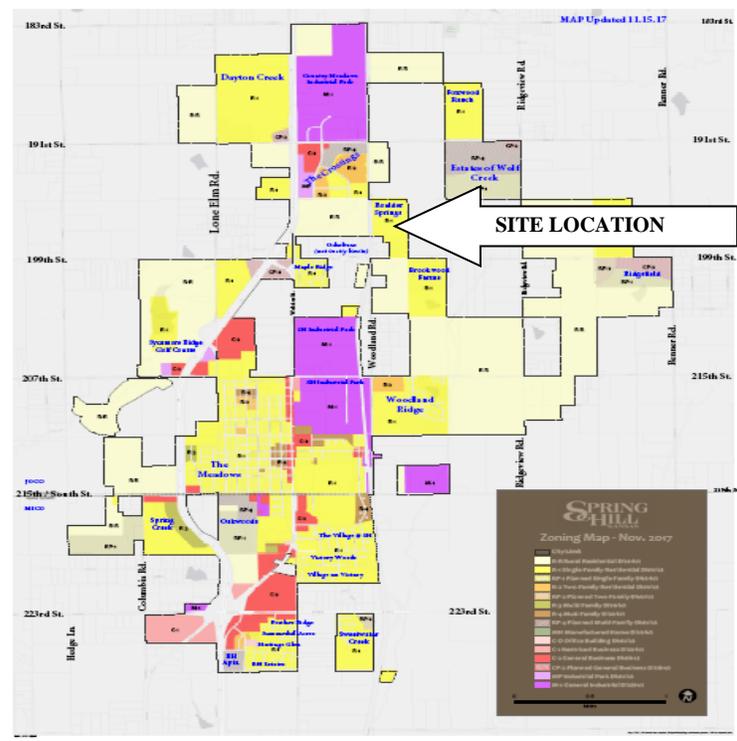
Engineer/Architect: Rose Design Build- Chris Herre

Site Area: 3.7 +/- acres 161,172 +/- square feet

Minimum Lot Area: N/A **Related Case:** Final Plat Boulder Springs

Current Zoning: R-1 **Proposed Use:** Community pool, recreational area, parking and club house.

	Current Zoning	Existing Land Use	Future Land Use Map
Site:	R-1	Vacant	
North:	RP-2	Vacant	Two Family Residential
South:	R-R	Vacant	Open Space
East:	R-1	Vacant	Residential
West:	R-1	Being Developed	Residential



Site Layout



PLAN NOTES

- STUCCO FINISH SYSTEM BY THE LEONARD SYSTEMS
- ASPHALT SHINGLE CERTAINTED - DRIFTWOOD
- GRAPESTONE VENEER LIMESTONE COLOR - TRD
- STAINED CEDAR FASCIA AND STRUCTURAL WRAPS

ROSE DESIGN GROUP INC.
ARCHITECTS • PLANNERS
A Division of Rose Design Build
910 750-0777 FAX: 910 750-0868
P.O. BOX 198 CLAYTON, MS 38621

**PROPOSED BUILDING:
BOULDER SPRINGS COMMUNITY POOL**
GRATA DEVELOPMENT
6300 W 143RD ST, Suite 200
OVERLAND PARK, KS 66223

NO.	DESCRIPTION	DATE
	Not For Construction	
	PROJECT NUMBER	19000
	DATE ISSUED	2019-09-26
	SHEET NUMBER	
A2.0		
ELEVATIONS		

BACKGROUND: The applicant, Rose Design Build, has submitted a request for approval of a site development plan in Boulder Springs Subdivision. The clubhouse, parking, recreational area, and pool are proposed on Tract "C". The track contains 3.7 acres more or less. The project consists of constructing a clubhouse building that is shown to have stucco and rock exterior finish. The pool is approximately 24,000 +/- sq. ft. This project will be owned and maintained by the Boulder Springs homeowners association.

STAFF REVIEW:

- 1) All lot lines, easements and R/W lines are identified.
- 2) All proposed structures and uses are identified.
- 3) The parking lot has 6 standard parking spaces with 1 ADA H/C spaces. This amount of parking exceeds the code requirements of 4 standard and 1 ADA H/C spaces.
- 4) Type of materials to be used for the parking lot is shown.
- 5) The storm water discharge from this site has been reviewed by the City Engineer.
- 6) The landscape shown on the plan exceeds the required landscape per the code.
- 7) The area lighting is not shown, but the illumination summary will be reviewed at the building permit stage.
- 8) Fencing is shown enclosing the pool area as required.

STANDARDS OF REVIEW

In addition to the above noted items, the site plan has been reviewed for compliance with the following standards:

1. *The extent to which the proposal conforms to the provisions of the Code.*
The proposed use is in compliance with the Spring Hill Zoning Code.
2. *The extent to which the proposal conforms to the provisions of the Spring Hill Subdivision Regulations.*

Agenda item No. 10

The site is in compliance with the Spring Hill Subdivision Regulations. This is an existing platted lot.

3. *The extent to which the development would be compatible with the surrounding area.*
The project is design to service the surrounding subdivision area.
4. *The extent to which the proposal conforms to the recommendations of the Spring Hill Comprehensive Plan including but not limited to the Vision Plan, the Community Development Recommendations, and the Planning and Principles and Design Guidelines.*
The proposal is in conformance with the recommendations of the Comprehensive Plan including the Future Land Use map that identifies this area as residential use in nature. The use conforms to the Preliminary Plat.
5. *The extent to which the proposal conforms to customary engineering standards used in the City.*
The overall project has been designed by recognized and licensed architects and engineers. The City Engineer and Building Official has reviewed the site plan.
6. *The extent to which the location of streets, paths, walkways, and driveways are located so as to enhance safety and minimize any adverse traffic impact on the surrounding area.*
The streets layout was designed in the Preliminary Plat to accommodate the pool area on Tract C.

STAFF AND CONSULTANTS REVIEW COMMENTS:

Staff has reviewed the site plan under the requirements of Section 17.340 of the Spring Hill Zoning Ordinance as follows:

1. Need to show the entrance approach areas to be poured concrete to R/W line.
2. Water service and sanitary sewer service lines for the clubhouse and pool must be shown.
3. Parking areas have been identified and the type of surface and base course to be used.
4. Utilities are available.
5. Exterior lighting will need to be reviewed at the building permit stage to insure it complies with City regulations as not to negatively affect surrounding properties or traffic. Manufacturer information on the fixtures are required to be submitted at time of building permit application review.
6. The pool will need to be reviewed, inspected and approved by the JOCO Health Department Division before opening for use.
7. Consultants, utility providers, and city staff have reviewed the site plan and provided comments. These comments and recommendations will be implemented on the site plan.

Planning Commission Review and Action:

Upon review of the site plan application the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

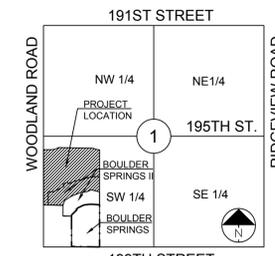
RECOMMENDATION:

It is the recommendation of staff, that the Planning Commission recommend approval of site plan SP-000005-2020.

Attachments: Site Development Plans
 Elevations

LEGEND:

- A/E - ACCESS EASEMENT
 - BC - BACK OF CURB
 - B/B - BACK TO BACK
 - BM - BENCHMARK
 - BL or B.L. - BUILDING LINE
 - CO - CLEANOUT
 - TJB - TELEPHONE JUNCTION BOX
 - C&G - CURB AND GUTTER
 - D/E - DRAINAGE EASEMENT
 - E/E - ELECTRICAL EASEMENT
 - EL - ELEVATION
 - FL - FLOW LINE
 - G/E - GAS LINE EASEMENT
 - HDPE - HIGH-DENSITY POLYETHYLENE
 - L/E - LANDSCAPE EASEMENT
 - MSFE - MINIMUM SERVICEABLE FLOOR ELEVATION
 - PVC - POLYVINYL CHLORIDE
 - P/L - PROPERTY LINE
 - PUB/E - PUBLIC EASEMENT
 - RCP - REINFORCED CONCRETE PIPE
 - ROW or R/W - RIGHT-OF-WAY
 - S/E - SANITARY SEWER EASEMENT
 - SL - SERVICE LINE
 - S/W - SIDEWALK
 - TE - TOP ELEVATION
 - U/E - UTILITY EASEMENT
 - WSE - WATER SURFACE ELEVATION
 - W/E - WATERLINE EASEMENT
-
- ASPHALT PAVEMENT - EXISTING
 - ASPHALT PAVEMENT - PROPOSED
 - CONCRETE PAVEMENT - EXISTING
 - CONCRETE PAVEMENT - PROPOSED
 - ASPHALT SIDEWALK - EXISTING
 - CONCRETE SIDEWALK - EXISTING
 - CONCRETE SIDEWALK - PROPOSED
 - CURB & GUTTER
 - CURB & GUTTER - EXISTING
 - TREELINE
 - EXISTING LOT AND R/W LINES
 - EXISTING PLAT LINES
 - P/L - PROPERTY LINES
 - ROW - RIGHT-OF-WAY
 - SANITARY SEWER MAIN
 - SANITARY SEWER MAIN - EXIST.
 - STORM SEWER
 - STORM SEWER - EXISTING
 - CABLE TV - EXISTING
 - FIBER OPTIC CABLE - EXISTING
 - TELEPHONE LINE - EXIST.
 - ELECTRIC LINE - EXISTING
 - OVERHEAD POWER LINE - EXIST.
 - UNDERGROUND ELECTRIC - EX.
 - GAS LINE - EXISTING
 - WATERLINE - EXISTING
 - LIGHT - EXISTING
 - EXISTING MANHOLE
 - CLEANOUT
 - EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - EXISTING AREA INLET
 - EXISTING CURB INLET
 - EXISTING GRATE INLET
 - EXISTING JUNCTION BOX
 - EXISTING STORM MANHOLE



SECTION 1-15-23
LOCATION MAP
 SCALE 1" = 2000'

UTILITY CONTACTS:

Atmos Energy
 Kevin Jones
 25090 W. 110th Terrace
 Olathe, KS 66061
 913-254-6355
 kevin.jones@atmosenergy.com

City of Spring Hill
 Sanitary & Storm Sewer
 Jim Boyer, Utility Superintendent
 913-592-2996
 jim.boyer@springhillks.gov

Public Streets
 Kevin Sawyer, Street Superintendent
 913-592-3317
 kevin.sawyer@springhillks.gov

502 East Nichols
 Spring Hill, KS 66083

Kansas One Call
 811
 www.kansasonecall.com



Evergy
 Brittney Nicole Reed, TD Designer III
 P.O. Box 208
 Wichita, KS 67201
 913-667-5124
 brittney.reed@evergy.com

Century Link
 Andy Tuttle
 435 E. Main Street
 Gardner, KS 66030
 913-856-2232
 andy.w.tuttle@centurylink.com

WaterOne
 Ryan Serridge, Project Manager
 10747 Renner Blvd.
 Lenexa, KS 66219-9624
 913-895-5774
 rserridge@waterone.org

SITE DEVELOPMENT PLANS FOR BOULDER SPRINGS POOL

IN THE CITY OF SPRING HILL JOHNSON COUNTY, KANSAS, 66083

STREETS AND STORM DRAINAGE NOTES:

1. The City Engineer approves development plans and drainage reports initially for one (1) year. After one year, if construction of the improvements has not begun, they automatically become void and must be updated and re-approved before any construction will be permitted.
2. The City of Spring Hill plan review is only for general conformance with City of Spring Hill Design Criteria and the City Code. The City is not responsible for the accuracy and adequacy of the design, or dimensions and elevations, which shall be confirmed and correlated at the job site. The City of Spring Hill, through approval of this document, assumes no responsibility other than as stated above for the completeness and/or accuracy of this document.
3. The contractor shall have one (1) signed copy of the plans (approved by the City of Spring Hill) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
4. Construction of the improvements shown or implied by this set of drawings shall not be initiated or any part thereof undertaken until the City Engineer or Director of Public Works is notified of such intent, and all required and properly-executed bonds, contract agreements and permits are received and approved by the City Engineer, a pre-construction conference has been held and Notice to Proceed has been issued.
5. The City of Spring Hill Technical Specifications, latest edition, shall govern construction of this project.
6. All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. Utilities damaged through the negligence of the contractor to obtain the location of same shall be repaired or replaced by the contractor at his expense.
7. All backfill shall be tamped. Backfill within the right-of-way shall be to 95% compaction at optimum moisture.
8. All excavation beneath existing and proposed streets shall be backfilled as shown on Standard Detail 60-3.
9. All sidewalks shown are for information purposes only. Sidewalks shall not be built as part of this project; however, contractor shall be responsible for sidewalk ramp construction.
10. A minimum of one (1) compaction test and a maximum of two (2) compaction tests shall be performed by a qualified testing laboratory for every 1000 feet of street construction. Laboratory technicians shall collect soil samples for such tests. The contractor shall pay for all testing laboratory expenses.
11. All water required for the construction of this project shall be purchased from the City Public Works Department through the use of a fire hydrant water meter. Meters can be obtained from the Public Works Department for a nominal deposit, refundable upon the return of the meter.
12. Contractor shall not be allowed to work Sundays, Holiday or Saturday work shall be as approved by the Director of Public Works.
13. Relocation of any water line, sewer line or service line thereof required for the construction of this project shall be the responsibility of the contractor and shall be at his expense.
14. If pre-cast concrete storm sewer structures are to be used on this project, the contractor shall submit shop drawings and have them approved by the City Engineer prior to fabrication of the structures. Failure to do so shall be cause for rejection.
15. A certification that all concrete to be used on the project will not contain fly ash or other pozzolans shall be submitted to the City Engineer prior to placing any concrete.
16. Monument boxes conforming to Standard Detail 13-5 shall be installed at all quarter section corners as involved in the street construction.
17. Where a new street is to connect to an existing street, all deteriorated or cracked asphalt within 5 (5) feet of the connection point shall be removed to a depth where sound material is found. If full depth pavement removal is required, the subgrade shall be re-compacted to 95% of standard maximum density.
18. As requested by the Kansas State Historical Society (KSHS), if construction work uncovers buried archeological materials, work in the area will cease and KSHS will be contacted.
19. During construction of new streets, proof rolling of the subgrade will be required prior to installation of the curb and gutter and prior to laying asphalt or concrete pavement. Proof rolling shall be done with a tandem dump truck loaded to within 1,000 pounds of its GVW with a weight ticket provided.
20. The contractor shall provide at least one (1) chemically treated, portable toilet unit, for every 20 workmen on the job site (in no case shall less than one (1) unit be provided). The units shall remain on the site during all active phases of construction of the sanitary sewers. The contractor shall enforce the use of the facilities by all personnel at the site. The unit shall be obscured from the public view to the greatest extent possible.
21. Bike and walking trails as per City of Spring Hill Design Criteria will require a proof roll.
22. Inspection of the street or storm water installation shall be the responsibility of the City Engineer. Any time the contractor is installing streets or storm water, the contractor will be required to provide prior notice to the City Engineer so as to allow scheduling of inspection.
23. Erosion control measures will be required to be installed prior to any grading or construction activities.
24. All projects which disturb an accumulative area of more than one (1) acre will be temporarily seeded and mulched to the requirements of Section 7200 "Seeding and Sodding" immediately after street construction (paving) is complete.

GENERAL NOTES:

1. Contractor is responsible for verifying quantities prior to bidding, as well as becoming familiar with and satisfying himself as to the general, local and site conditions that may affect cost, progress, and performance of work.
2. Contractor shall promptly give engineer written notice of all conflicts, errors, ambiguities or discrepancies that the contractor discovers in the bidding documents and confirm that the written resolution thereof by the engineer is acceptable to contractor.
3. Contractor is responsible for the jobsite safety of the project and the safety of the public and shall adhere to all federal, state and local safety regulations.
4. Contractor is responsible for coordinating construction activities with other contractors concurrently working onsite. Contractor shall coordinate all subcontractor activities, and shall be the sole contact for the owner.
5. Contractor shall secure all required permits insurance requirements and bonding prior to construction. Insurance certificates shall name Owner and Engineer as additional insured.
6. All traffic control required in conjunction with the proposed construction shall be in conformance with the Manual of Uniform Traffic Control Devices (MUTCD) and shall be a subsidiary obligation of the contract.
7. Sidewalks adjacent to tracts are the responsibility of the developer and are to be constructed by the Contractor.

EARTHWORK:

1. All earthwork shall conform to the Geotechnical Report prepared for this specific project. It is recommended that a Geotechnical Engineer observe and document all earthwork activities.
2. Contours have been shown at 1-foot or 2-foot intervals, as indicated. Grading shall consist of completing the earthwork required to bring the physical ground elevations of the existing site to the finished grade (or sub-grade) elevations provided on the plans as spot grades, contours or others means as indicated on the plans.
3. The existing site topography depicted on the plans by contouring has been established by aerial photography and field verified by g.p.s. observation near 10/18/2018. The contour elevations provided may not be exact ground elevations, but rather interpretations of such. Accuracy shall be considered to be such that not more than 10 percent of spot elevation checks shall be in error by more than one-half the contour interval provided, as defined by the National Map Accuracy Standards. Any quantities provided for earthwork volumes are established using this topography contour accuracy, and therefore the inherent accuracy of any earthwork quantity is assumed from the topography accuracy.
4. Proposed contours are to approximate finished grade.
5. Unless otherwise noted, payment for earthwork shall include backfilling of the curb and gutter, sidewalk and further manipulation of utility trench spoils. The site shall be left in a movable condition and positive drainage maintained throughout.
6. Unless otherwise noted, all earthwork is considered Unclassified. No additional compensation will be provided for rock or shale excavation, unless specifically stated otherwise.
7. Prior to earthwork activities, pre-disturbance erosion and sediment control devices shall be in place per the Storm Water Pollution Prevention plan and/or the Erosion and Sediment Control Plan prepared for this site.
8. All topsoil shall be stripped from all areas to be graded and stockpiled adjacent to the site at an area specified by the project owner or his appointed representative. Vegetation, trash, trees, brush, tree roots and limbs, rock fragments greater than 6-inches and other deleterious materials shall be removed and properly disposed of offsite or as directed by the owner or his appointed representative.
9. Unless otherwise specified in the Geotechnical Report, all fills shall be placed in maximum 6-inch lifts and compacted to 95-percent of maximum density as defined using a modified proctor test.
10. Fill materials shall be per Geotechnical Report and shall not include organic matter, debris or topsoil. All fills placed on slopes greater than 6:1 shall be benched.
11. The Contractor shall be responsible for redistributing the topsoil over proposed turf and landscaped areas to a minimum depth of 6-inches below final grade.
12. All areas shall be graded for positive drainage. Unless noted otherwise the following grades shall apply:
 - a. Turf Areas - 2.5% Minimum, 4H:1V Maximum
 - b. Paved Areas - 1.2% Minimum, 5% Maximum
13. All disturbed areas shall be fertilized, seeded and mulched immediately after earthwork activities have ceased. Seeding shall be per the Erosion and Sediment Control Plan and/or Landscape Plan. If not specified seeding shall be per APWA Section 2400, latest edition. Unless otherwise noted, seeding shall be subsidiary to the contract price for earthwork and grading activities.
14. Contractor shall adhere to the reporting requirements outlined in the Storm Water Pollution Prevention Plan (SWPPP) prepared for this project. Erosion and Sediment control devices shall be properly maintained and kept clean of silt and debris and in good working order. Additional erosion and sediment control measures shall be installed as required.

UTILITIES:

1. Existing utilities have been shown to the greatest extent possible based upon information provided to the Engineer. The contractor is responsible for contacting the respective utility companies and field locating utilities prior to construction and identifying any potential conflicts. All conflicts shall immediately be brought to the attention of the Engineer.
2. The contractor shall be responsible for coordinating any required utility relocations. Utilities damaged through the negligence of the contractor shall be repaired at the contractor's expense.
3. Contractor shall verify flow-lines and structure tops prior to construction, and shall notify Engineer of any discrepancies. Provide shop drawings for all precast and manufactured utility structures for review by the Engineer prior to construction of the structures.
4. Utility Separation: Waterlines shall have a minimum of 10 feet horizontal and 2 feet vertical separation from all sanitary and storm sewer lines. If minimum separations can not be obtained, concrete encasement of the sanitary or storm sewer line shall be required 10 feet in each direction of the conflict.
5. Payment for trenching, backfilling, pipe embedment, flowable fill, backfill materials, clean up, seeding, sodding and any other items necessary for the construction of the utility line shall be included in the contract price for the utility installation.
6. The Contractor shall be responsible for contacting respective utility companies 48-hours in advance for the inspection of any proposed utility main extension or service line or service connection to any existing main.
7. Trench spoils shall be neatly placed on adjacent property to the south, and compacted to prevent saturation and excess sediment runoff per the direction of the owner and/or the owner's representative. Unsuitable materials, excess rock and shale, asphalt, concrete, trees, brush etc. shall be properly disposed of offsite. Spoil material shall not be wasted and/or stored within the public street right-of-way.

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	SITE PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPING PLAN
6	STANDARD DETAILS
7	CITY STANDARD DETAILS

APPROVED BY:

 DIRECTOR OF PUBLIC WORKS
 APPROVED FOR ONE YEAR FROM THIS DATE

 DATE

OWNER/DEVELOPER:

DAY 3 DEVELOPMENT, LLC.
 TRAVIS SCHRAM
 6300 W. 143RD ST. SUITE 200
 OVERLAND PARK KS 66223
 p (913) 912-9000
 t-
 TRAVIS@GRATLAND

SCHLAGEL
 ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
 14920 West 107th Street • Lenexa, Kansas 66215
 (913) 492-5158 • Fax: (913) 492-8400
 WWW.SCHLAGELASSOCIATES.COM
 Kansas State Certificates of Authority
 #E-296 #LX-29 #LS-54



SCHLAGEL & ASSOCIATES, P.A.

**BOULDER SPRINGS POOL
 SITE DEVELOPMENT PLANS**

**196TH STREET & EMERALD STREET
 HILL, KANSAS, 66083**

DRAWN BY:	CHECKED BY:	DATE PREPARED:	PROJ. NUMBER:	DESCRIPTION
PW	MAB	2/20/2020	18-175	

COVER SHEET

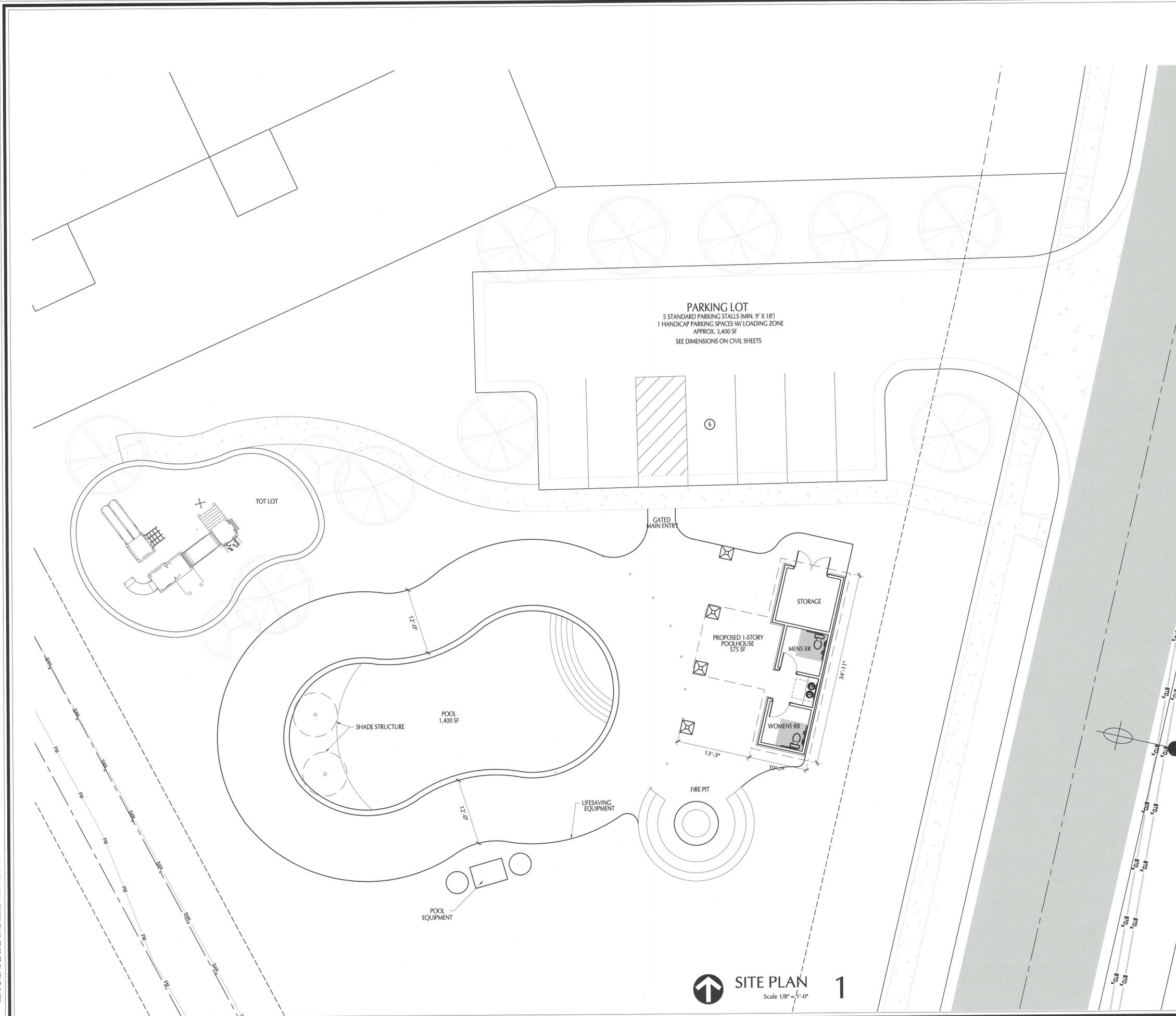
SHEET

JOHNSON COUNTY BENCHMARK:

BM #1171
 BERNTSEN ALUMINUM DISK LOCATED IN CENTER OF THE WEST
 HEADWALL RCB. 0.25 MILES NORTH OF THE INTERSECTION OF 199TH
 STREET AND WOODLAND ROAD.

ELEV. 1059.46

Dec 16, 2019 - 1:57pm - USER: thtitt
 T:\Bosch\Drawings-Current\19006 Boulder Springs Production\Planning & Zoning\Architectural\A1.0 SITE PLAN.dwg
 CONFIDENTIAL - PROPRIETARY: THIS DOCUMENT IS THE PROPERTY OF ROSE DESIGN GROUP, INC. AND IS SUBJECT TO RETURN UPON REQUEST. THE DOCUMENT INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ROSE DESIGN GROUP, INC. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT THE EXPRESS WRITTEN PERMISSION OF, AND THAT NEITHER THE DOCUMENT NOR THE INFORMATION CONTAINED THEREIN WILL BE USED ADVERSELY TO ROSE DESIGN GROUP, INC. ALL PARTY RIGHTS ARE RESERVED.



SITE PLAN **1**
 Scale 1/8" = 1'-0"

PLAN NOTES

DISCLAIMER
 CHRISTOPHER L. HERRE, AN REGISTERED ARCHITECT & REPRESENTATIVE OF ROSE DESIGN GROUP, INC. SO HEREBY ACCEPTS PROFESSIONAL RESPONSIBILITY AS REQUIRED BY THE PROFESSIONAL REGISTRATION LAW OF THE STATE FOR THE ARCHITECTURAL DESIGN SERVICES PROVIDED BY A PROFESSIONAL ARCHITECT. I HEREBY DISCLAIM RESPONSIBILITY FOR ALL OTHER DRAWINGS IN THE CONSTRUCTION DOCUMENT PACKAGE, BUT THAT THE RESPONSIBILITY OF OTHER DESIGN PROFESSIONALS WHOSE WORK HAS BEEN CONTRACTED BY APPEAR ELSEWHERE IN THE CONSTRUCTION DOCUMENT PACKAGE.

Christopher L. Herre

 CHRISTOPHER L. HERRE - ARCHITECT
 KS# A-2975

ROSE

DESIGN

GROUP INC.

ARCHITECTS ■ PLANNERS

A Division of Rose Design Build

913-782-0777 FAX: 913-782-0998
 P.O. BOX 100 OLATHE, KS 66051

KANSAS STATE CERTIFICATE OF AUTHORITY # A-63 www.BuildWithRose.com

PROPOSED BUILDING:

BOULDER SPRINGS COMMUNITY POOL

GRATA DEVELOPMENT

6300 W 143rd St, Suite 200

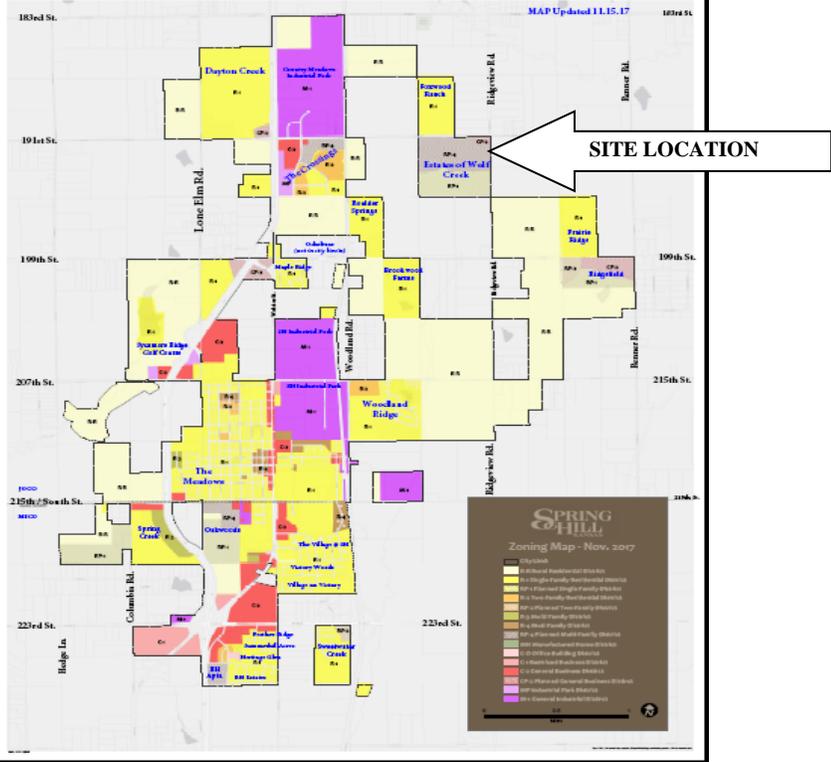
OVERLAND PARK, KS 66223

NO.	DESCRIPTION	DATE
	Not For Construction	
	PROJECT NUMBER	19006
	DATE ISSUED:	2020-02-20
	SHEET NUMBER	
A1.0		
SITE PLAN		

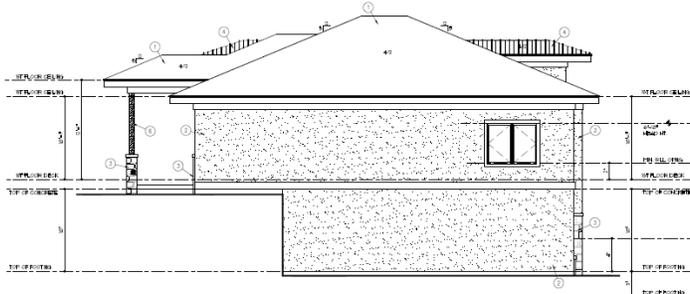
SPRING HILL PLANNING COMMISSION
FINAL DEVELOPMENT PLAN AND FINAL PLAT STAFF REPORT

Case #: Plat-000003-2020 Meeting Date: June 04, 2020
Description: Proposed Final Development of Lot 1 and Final Plat
Location: South of 191st Street and west of Ridgeview Road
Applicant: Ronald A. Mather Owner: 191st Street Investors
Engineer: Phelps – J. Claussen / Harold Phelps
Current Zoning: “CP-2”
Site Area: 10.21 +/- acres Number of Lots: 4

Proposed Use: CP-2 - Planned General Business District



- ASSUMPTIONS**
1. PROPOSED TO BE CONSTRUCTED IN OR ADJACENT TO EXISTING LOT
 2. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES
 3. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES
 4. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES
 5. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES
 6. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES
 7. EXISTING LOT AREA IS APPROXIMATELY 1.0 ACRES



EAST ELEVATION



SOUTH ELEVATION



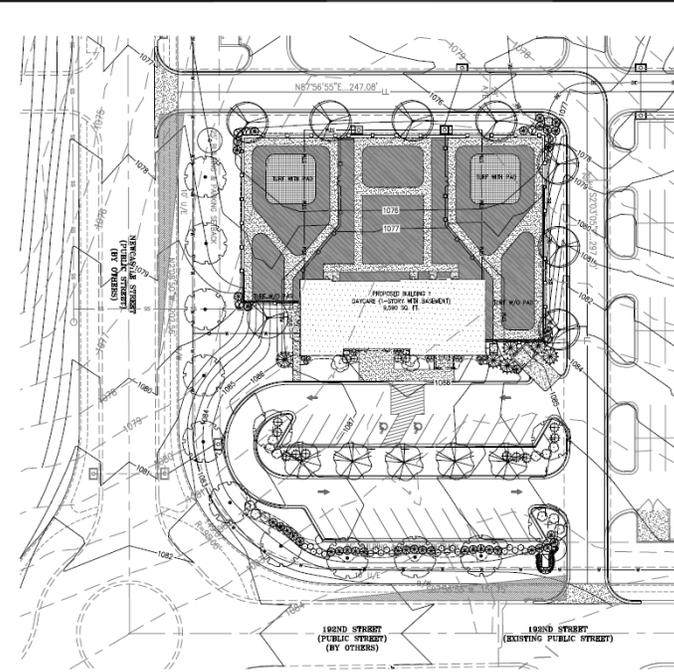
CEDAR HILLS CENTER
 1600 S. CEDAR HILLS BLVD.
 SPRING WELLS, KANSAS

RONALD WATERS PROPERTIES LLC
 SOUTH GREEN RD. COLLEGE BLVD.
 CLATHE, KANSAS 66001



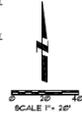
Project # 17-11
 Date: 10-2017
 Drawing: 001

A5.1



PLANT SCHEDULE

QUANTITY	QTY	BOTANICAL COMMON NAME	CONC.	COL.	SEE
3	3	Acer campestre / Hedge Maple	8.8.8	2.5'x4	
10	10	Acer rubrum 'Red Palm' / Red Palm Red Maple	8.8.8	2.5'x4	
2	2	Cercis canadensis / Okanese Redbud	8.8.8	1.5'x3	
2	2	Hortensia macrophylla / Green Snow Flower	9' hp.		
6	6	Jurbania alghiana 'Carnegie' / Cement Juniper	8.8.8	8' hp.	
1	1	Quercus bicolor / Swamp White Oak	8.8.8	2.5'x4	
5	5	Syringa reticulata 'Ivory Bell' / Ivory Silk Japanese Tree Lilac	8.8.8	2.5'x4	
7	7	Zelkova serotina 'Village Green' / Seaside Zelkova	8.8.8	2.5'x4	
SHRUBS					
2	2	Baccharis pumila / Atropurpurea Nana / Dwarf Redtop Asteraceae	2' gal.		
20	20	Hesperis matronalis 'Surburn' / Surburn Hesperis	18" gal. 1 gal. & sp.		
38	38	Jurbania alghiana 'Sea Green' / Sea Green Juniper	24" gal. 8 sp.		
12	12	Jurbania alghiana 'Grey Owl' / Grey Owl Juniper	24" gal.		
7	7	Physocarpus opulifolius 'Center Glow' / Center Glow Ninebark	24" gal. 1 gal. & sp.		
12	12	Rosa arvensis 'Crocus' / Crocus Fragrant Rose	18" gal.		
10	10	Salix purpurea 'Autumn Fire' / Shady Willow	18" gal. 8 sp.		
2	2	Spiraea x vanhouttei 'Gold Flame' / Gold Flame Spirea	18" gal.		
ANNUALS/PERENNIALS					
25	25	Geranium sanguineum 'Blue Plentiflor' / Blue Plentiflor	1 gal.		
GRASSES					
25	25	Calamagrostis canadensis 'Kent Forester' / Feather Reed Grass	2" hp.		
6	6	Miscanthus sinensis 'Morning Light' / Eureka Grass	3 gal.		



Landscape Plan
Estates of
Wolf Creek Daycare

094918 Kansas
 Coopermans LandDesign, LLC
 1000 N. 10th St., Suite 100
 Lawrence, KS 66044
 785.842.1234
 www.coopermanslanddesign.com



07/2020

Notes:
 1. All dimensions are in feet and inches unless otherwise noted.
 2. All dimensions are to the center of the object unless otherwise noted.
 3. All dimensions are to the outside of the object unless otherwise noted.

BACKGROUND:

An application has been received for the final development plan and final plat of a 10.21 ac. located at the southwest corner of 191st & Ridgeview Road. The property is currently zoned CP-2 (Planned General Business District). The preliminary development plan and site plan were approved at the October 2020 Planning Commission meeting.

STAFF COMMENTS:

The Planning Commission approved the preliminary development plan and site plan after changes were made by the request of the Planning Commission. The PC required the C-Store to be relocated on a lot on 191st Street further away from the elementary school. The revised plan was re-submitted to the PC in October 2020, and the PC approved the preliminary development plan and the site plan.

The review comments from the government agencies, consultants and utility providers have been implemented as applicable on the new Final Plat. The applicant and their engineer have addressed all of the provided comments. Additional easements may be required to accommodate the improvements

The right-of-way and utility easements are shown with dimensions meeting the minimum requirements for the City and affected utility providers. Additional easement requirements will be looked at and may be required on the Final Plat when the design of utilities is completed.

The City will provide sewers, and WaterOne will provide water to the subdivision.

The excise tax will be calculated and paid before Final Plat is recorded and the park impact fee will be collected at the building permit stage

The proposed final plat and subdivision does comply with the Comprehensive Plan.

PLANNING COMMISSION REVIEW AND ACTION: Upon review of the final plat application, the Planning Commission may by a majority vote of those members present:

- Recommend approval of the application to the Governing Body, or
- Recommend denial of the application to the Governing Body and notify the applicant of such action, or
- Table action on the application to a specific date and notify the applicant of such action

RECOMMENDATION: Staff recommends approval of the Final Development Plan and Final Plat in the CP-2 (Planned General Business District) of the Estates of Wolf Creek.

Attachments: 1. Final Plat

FINAL PLAT OF ESTATES OF WOLF CREEK COMMERCIAL

A SUBDIVISION OF LAND IN THE NORTHEAST QUARTER OF
SECTION 1, TOWNSHIP 15 SOUTH, RANGE 23 EAST, IN THE
CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS

LEGAL DESCRIPTION

All that part of the Northeast Quarter of Section 1, Township 15 South, Range 23 East, in the City of Spring Hill, Johnson County, Kansas, being more particularly described as follows:

Beginning at the Northeast corner of the Northeast Quarter of said Section 1; thence S 2°03'05" E, along the East line of the Northeast Quarter of said Section 1, a distance of 645.82 feet to the Northeast plot corner of WOLF CREEK ELEMENTARY SCHOOL, a platted subdivision of land in the City of Spring Hill, Johnson County, Kansas; thence S 87°56'55" W, along the North plot line of said WOLF CREEK ELEMENTARY SCHOOL, and its Westerly extension, a distance of 533.12 feet; thence Northwesterly on a curve to the right, said curve being tangent to the last described course and having a radius of 95.00 feet, an arc distance of 149.07 feet; thence N 2°08'50" W, a distance of 549.93 feet to a point on the North line of the Northeast Quarter of said Section 1; thence N 87°51'10" E, along the North line of the Northeast Quarter of said Section 1, a distance of 629.04 feet to the point of beginning, containing 9.2663 acres, more or less, unplatted land.

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision and plat shall hereafter be known as "ESTATES OF WOLF CREEK COMMERCIAL".

DEDICATION

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on this plat as streets, terraces, places, roads, drives, lanes, parkways, avenues and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility or corporation on said parts of the land so dedicated, and any pipes, lines, poles and wires, conduits, ducts or cables heretofore installed thereupon and therein are required to be relocated, in accordance with proposed improvements as now set forth, the undersigned proprietors hereby absolve and agree to indemnify the City of Spring Hill, Johnson County, Kansas, from any expense incident to the relocation of any such existing utility installations within said prior easements.

An easement or license to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over, and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Spring Hill, Kansas, with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes.

An easement or license to lay, construct, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress or egress, over and through those areas designated as "Sanitary Sewer Easement" or "S/E" on this plat is hereby dedicated to the City of Spring Hill, Kansas, or their assigns.

CONSENT TO LEVY

The undersigned proprietors of the above described land hereby agree and consent that the Board of County Commissioners of Johnson County, Kansas, and the City of Spring Hill, Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use, from the lien and effect of any special assessment, and that the amount of unpaid special assessments on such land so dedicated, shall become and remain a lien on the remainder of this land fronting or abutting on such dedicated public way or thoroughfare.

RESTRICTIONS

All lots, parcels and properties in this subdivision shall hereafter be subject to the Declaration of Restrictions for "Woodland Crossing", which will be executed as a separate instrument and recorded in the Office of the Register of Deeds of Johnson County, Kansas, and which shall hereby become a part of the dedication of this plat as though fully set forth herein.

EXECUTION

IN TESTIMONY WHEREOF, the undersigned proprietor has hereunto subscribed his hand this _____ day of _____, 20_____.

191st Street Investors, LLC, a Kansas limited liability company

By: Robert Garver, Managing Member

ACKNOWLEDGEMENT

STATE OF _____ }
COUNTY OF _____ } SS

BE IT REMEMBERED that on this _____ day of _____, 20_____, before me, the undersigned, a Notary Public in and for said County and State, came Robert Garver, Managing Member of 191st Street Investors, LLC, a Kansas limited liability company, and who is personally known to me to be the same person who executed, as such officer, the within instrument on behalf of said company, and such person duly acknowledged the execution of the same to be the act and deed of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year last above written.

Notary Public: _____ My Appointment Expires: _____

Print Name: _____

APPROVALS

Approved by the Planning Commission of the City of Spring Hill, Johnson County, Kansas, this _____ day of _____, 20_____.

Planning Commission Chairman: Stephen Sly

Approved by the Governing Body of the City of Spring Hill, Kansas, this _____ day of _____, 20_____.

Mayor: Steven M. Ellis

Attest:
City Clerk: Glenda Gerrity

AREAS		
PARCEL	AREA (S.F.)	AREA (AC.)
1	71480.49	1.6410
2	95574.67	2.1941
3	92561.93	2.1249
4	71123.28	1.6328
PLAT	403638.69	9.2663
ROW	72898.32	1.6735

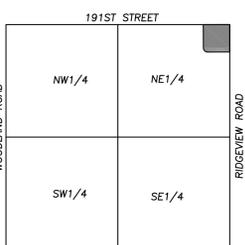


SCALE: 1" = 40'

BEARING BASIS: RECORDED PLAT OF "WOLF CREEK ELEMENTARY SCHOOL"

LEGEND

- DENOTES SET 1/2"x24" REBAR W/PHELPS CORP. CLS-82 PLASTIC CAP
- DENOTES FOUND 1/2" REBAR W/PHELPS CORP. CLS-82 PLASTIC CAP UNLESS OTHERWISE NOTED
- DENOTES FOUND MONUMENT, ORIGIN UNKNOWN UNLESS DESCRIBED
- U/E DENOTES UTILITY EASEMENT
- B.L. DENOTES BUILDING LINE
- A/E DENOTES ACCESS EASEMENT
- S/E DENOTES SANITARY SEWER EASEMENT



VICINITY MAP
SEC. 1-15-23

FLOOD NOTE:
THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF SPRING HILL, COMMUNITY NO. 200178, JOHNSON COUNTY, KANSAS, PANEL NO. 2009100139 G, AND DATED AUGUST 3, 2009.

I, THOMAS D. PHELPS, HEREBY CERTIFY THAT IN JANUARY 2020, I OR SOMEONE UNDER MY DIRECT SUPERVISION HAVE MADE A SURVEY OF THE ABOVE DESCRIBED TRACT OF LAND AND THE RESULTS OF SAID SURVEY ARE CORRECTLY REPRESENTED ON THIS PLAT.

THOMAS D. PHELPS, K.S. LS-1075
LAND SURVEYOR

CERTIFICATE OF AUTHORIZATION
KANSAS
LAND SURVEYING - LS-82
ENGINEERING - E-391

CERTIFICATE OF AUTHORIZATION
MISSOURI
LAND SURVEYING-200700128
ENGINEERING-2007005058

PEI

PLANNING
ENGINEERING
IMPLEMENTATION

PHELPS ENGINEERING, INC.
1230 N. Winchetter
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166