



AGENDA
CITY OF SPRING HILL
PLANNING COMMISSION

THURSDAY, JANUARY 15, 2026
SPECIAL MEETING
7:00 P.M.
CIVIC CENTER - 401 N. MADISON ST.,
COUNCIL CHAMBER

View a live stream of this meeting at [City of Spring Hill, Kansas - YouTube](#)
Please silence cell phones while the meeting is in progress

Chair Rodolfo Arevalo

Vice Chair Chuck Morse

Mary Dobson
Kendra Crevier

Josh Erhart
VACANT

Troy Mitchell
Cindy Squire

Stephen Sly

Any member of the public that would like to speak on items not on the agenda must sign in before 6:55 p.m.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

CITIZEN PARTICIPATION

This is an opportunity for those in attendance to address the Planning Commission regarding items not on the agenda.

FORMAL COMMISSION ACTION

1. Public Hearing – Conditional Use Application with Site Plan (CU-25-2/SP-25-9) – Spring Hill Car Wash

Address/Vicinity: 19085 Madison St

Applicant: David Eskov

Purpose: Car Wash

2. Public Hearing – Rezoning Application with Preliminary Plat (Z-25-4/PP-25-7) – R-1, R-2 to RP-1; Woodland Ridge Subdivision

Address/Vicinity: 207th & Woodland Rd

Purpose: Residential Lots

3. Final Plat Application (FP-25-14) – Avondale Meadows, Third Plat

Address/Vicinity: 215th & Columbia Road

Applicant: SMH Consultants

Purpose: Residential Lots

4. Preliminary Plat Application (PP-25-8) – Ozark Ready-Mix

Address/Vicinity: US169 Hwy and 183rd St

Applicant: Schlager & Associates

Purpose: Industrial Lot

5. Final Plat Application (FP-25-15) – Ozark Ready-Mix

Address/Vicinity: US169 Hwy and 183rd St

Applicant: Schlager & Associates

Purpose: Industrial Lot

6. Public Hearing – Conditional Use Application with Site Plan (CU-25-3/SP-25-10) – Ozark Ready-Mix

Address/Vicinity: US169 Hwy and 183rd St

Applicant: Schlager Associates

Purpose: Concrete Facility

DISCUSSION

ANNOUNCEMENT AND REPORTS

7. The following item(s) related to Community Development were approved at the December 11, 2025, City Council meeting:

- No agenda items

8. The following item(s) related to Community Development were approved at the December 30, 2025, City Council special meeting:

- No agenda items

9. The following item(s) related to Community Development were approved at the January 8, 2026, City Council regular meeting:

- Approved final plat for Wiswell Farms, Fourth Plat

ADJOURN

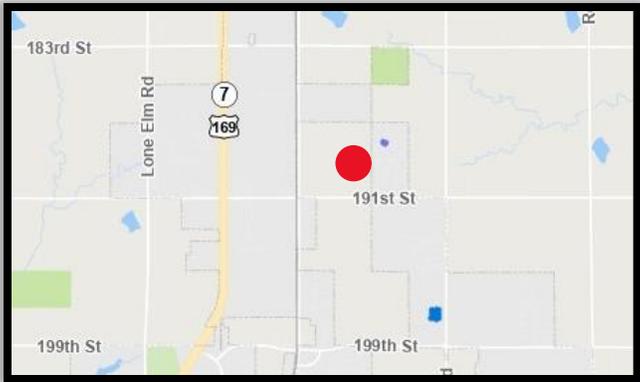
PUBLIC HEARING PROCEDURE

1. Chairperson opens the public hearing.
2. Commission members describe what, if any, ex-party contacts they might have had regarding this case; indicating the nature of the communication and *whom* it was with.
3. Commission members describe what, if any, conflicts of interest they may have and dismiss themselves from the hearing.
4. Staff presents a report and comments regarding the case.
5. Applicant or agent of the applicant makes brief presentation of the case or request.
6. Commission members ask for any needed clarification of the applicant or agent.
7. Public comments are solicited from the audience. Each member of the audience must state their name and address.
8. Commission members ask for any further clarifications from applicant or staff.
9. Public Hearing is closed.
10. Members deliberate the request.
11. 14-day Protest Period begins after the Planning Commission Public Hearing is closed. *

* **Protest Petitions:** Any protest petition must be filed in the Office of the Spring Hill City Clerk within 14 days from the conclusion of the public hearing held by the Planning Commission. Sample copies of protest petitions may be obtained from the City Clerk Office at 401 N. Madison St., Spring Hill, KS 66083 (913-592-3664).

Spring Hill Car Wash

SP-25-09 – Site Plan w/ Conditional Use



Application Information

Location:	19085 Madison Street
Applicant:	David Eskov <i>Eskov Architecture</i>
Engineer:	Aubry Enterprises
Owner:	Quick N Clean, Inc.

Project Information

Zoning:	M-1 (General Industrial)
Land Area:	+/- 0.98 ac +/- 42,680 sq. ft.
Building Area:	+/- 4,375 sq. ft.
# of Lots:	1

Executive Summary

The applicant, David Eskov (Eskov Architecture), on behalf of the owner, Quick N Clean, Inc., has submitted for approval of a site plan and conditional use. The proposed use is an approximately 4,375 square foot car wash facility located at the northeastern corner of 191st Street and Madison Street.

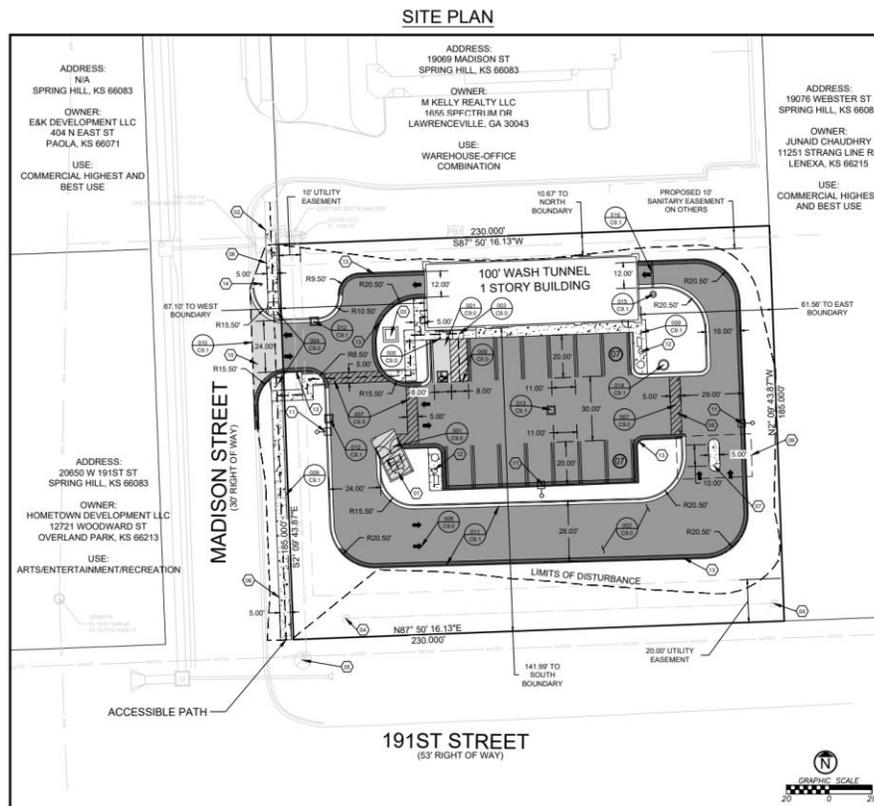
The subject property is currently zoned M-1 General Industrial District, and the proposed use is permitted with conditional use. Staff analysis finds that the proposed use is compatible with the surrounding land uses and is consistent with the goals and objectives of the Spring Hill Comprehensive Plan.

The project does not seek any modifications from underlying district standards and is compliant with the development and subdivision standards of the Unified Zoning Ordinance.

Staff recommend approval of the application, subject to conditions detailed at the end of the staff report.

Staff Review

Staff have reviewed the site plan under the requirements of Section 17.340 of the Spring Hill Zoning Ordinance. The following sections detail each overarching area of review and relevant notes.



Site Plan

Adjacent Zoning & Neighborhood Compatibility

The area surrounding the subject property is characterized by predominantly commercial and light industrial land uses.

The proposed use of a car wash facility is compatible with the intensity of surrounding development, and the use will have an equivalent or lesser impact than other land uses permitted by-right within the M-1 zoning district.

Adjacent Zoning

North:	C-2 General Business District
East:	C-2
South:	C-2 (Across 191 st Street)
West:	M-1 (Across Madison Street)

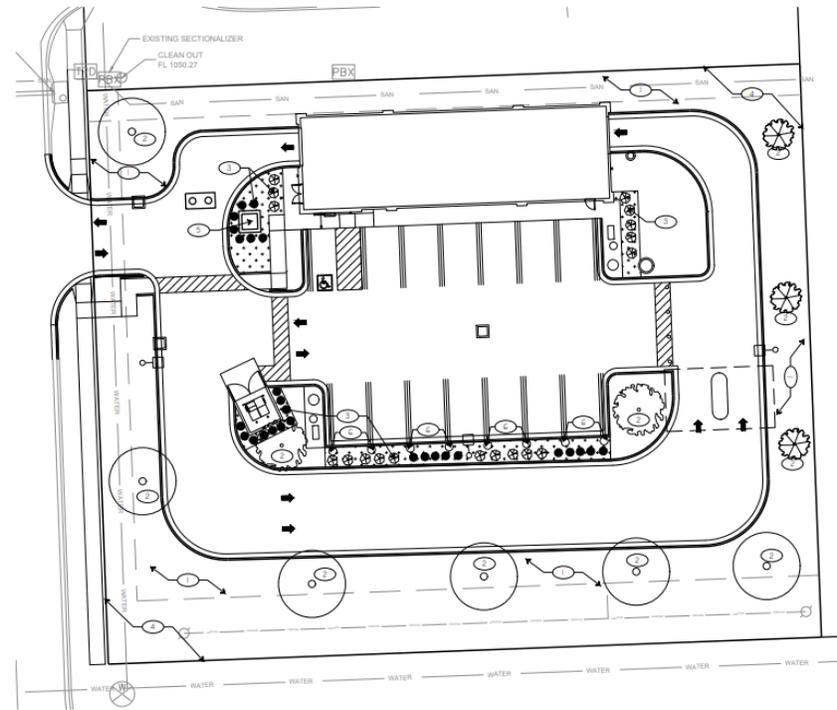
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Planning Commission
January 15, 2026

Zoning Code

The subject application complies with all standards of the Zoning Code and associated development standards. As a conditional use, public hearing and additional consideration is required to permit the proposed use on the subject property.



Landscape Plan

Subdivision Regulations

The layout of the subject property complies with the adopted subdivision regulations as well as all associated easement, right-of-way, and access management policies and regulations.

Comprehensive Plan

The subject property is identified for industrial land uses on the Future Land Use Plan. The adopted Comprehensive Plan specifies that the industrial future land use designation can be utilized for limited commercial activities. The proposed use is limited in scope and nature and therefore complies with the future land use designation and the stated objectives of the comprehensive plan.

Engineering Standards

The project has been designed by licensed architects, engineers, and/or surveyors hired by the applicant in compliance with requirements established by the Zoning Code.

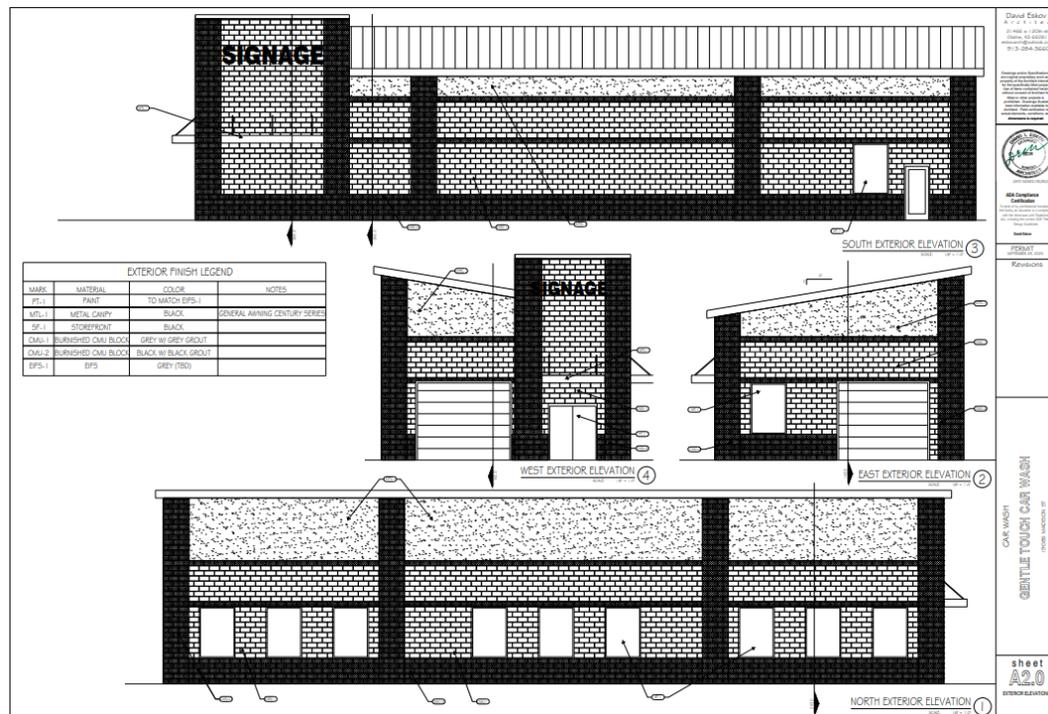
Traffic Impact

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Planning Commission
January 15, 2026

The project provides adequate spacing between the nearby intersection and site access and contains on-site queuing facilities for clientele that minimizes off-site traffic impacts. The two-lane queue extends the length of the site and will satisfy peak capacity demand.



Architectural Elevations

Additional Review Criteria

Landscaping and Buffering – Pursuant to SMHC 17.360, landscaped impact buffering is not required between adjoining land uses of a similar type. Given the surrounding properties are of compatible commercial or light industrial land uses, the project does not require enhanced impact buffering.

Easements

The minimum easement requirements for the city and subject locations will be addressed. Additional easements may be required and addressed during the infrastructure construction design process preceding issuance of building permits.

Conditions of Approval

Engineering

1. Address the plan review comments as outlined by Lamp Rynearson. Engineering will review the plans for approval prior to issuance of a construction permit.
2. Prior to issuance of a permit, submit a copy of the Industrial Stormwater Pollution Prevention Plan outlining the long-term operations and maintenance of the car wash site.
3. Prior to issuance of a permit, provide a copy of the signed permit from KDHE approving the Industrial Stormwater Permit.
4. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.
5. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.

Planning Commission Review and Action

Upon review of the site plan application, the Planning Commission may, by a majority vote of those members present:

1. *Recommend approval of the application to the Governing Body*
2. *Recommend denial of the application to the Governing Body, and notify the applicant of such action, or*
3. *Table the application to a specific date and notify the applicant of such action*

This case will be presented to the Governing Body on February 12, 2026.

Suggested Motion:

Move to recommend approval of application CU-25-2 SP-25-9, Site Plan w/ Conditional Use, Spring Hill Car Wash, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

1. Civil Set

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Planning Commission
January 15, 2026

2. Landscape Plan
3. Architectural Elevations
4. Engineering Staff Report

SPRING HILL CARWASH

CIVIL IMPROVEMENTS

19085 MADISON ST

SPRING HILL, KS

11/25/2025

MUNICIPAL CONTACT LIST

CITY PLANNER

IAN TREFREN 401 N. MADISON ST
 SPRING HILL, KS 66083
 IAN.TREFREN@SPRINGHILLKS.GOV

PUBLIC WORKS DIRECTOR

JACOB SPEER
 502 E. NICHOLS ST
 SPRING HILL, KS 66083
 JACOB.SPEER@SPRINGHILLKS.GOV

PROJECT COORDINATOR

AMY LONG
 401 N. MADISON ST
 P.O. BOX 424
 SPRING HILL, KS 66083
 PLANNING@SPRINGHILLKS.GOV

UTILITIES SUPERINTENDENT

DAVID CARR
 502 E. NICHOLS ST
 SPRING HILL, KS 66083
 DAVID.CARR@SPRINGHILLKS.GOV

UTILITY CONTACT LIST

NATURAL GAS

ATMOS ENERGY
 25090 W 110TH TER
 OLATHE, KS 66061
 (888) 286-6700

ELECTRIC

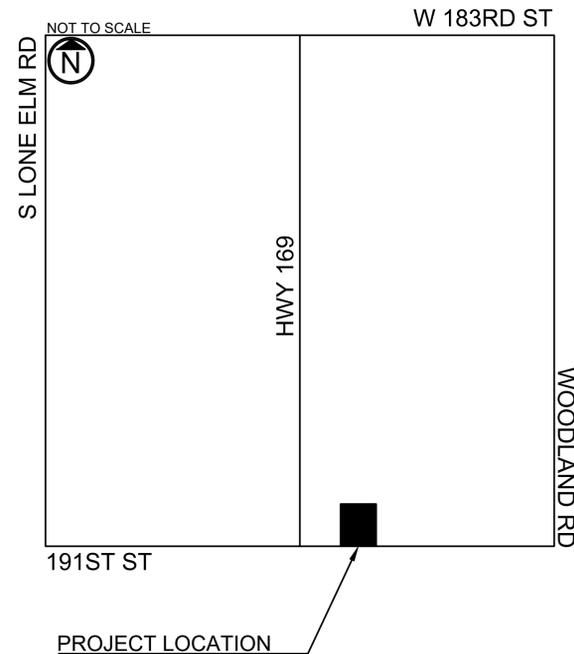
EVERGY
 16215 W 108TH ST
 LENEXA, KS 66219
 (800) 223-0755

WATER

WATERONE
 10747 RENNER BOULEVARD
 LENEXA, KS 6629
 (913) 895-5500

SEWER/STORM WATER/PUBLIC WORKS

CITY OF SPRING HILL
 401 N. MADISON ST
 SPRING HILL, KS 66083
 (913) 592-3664



SE QUARTER SECTION S35-T14S-R23E
 SPRING HILL, JOHNSON COUNTY, KS

SHEET LIST

	TITLE
	TOPO SURVEY
C0.0	GENERAL NOTES
C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	DIMENSION CONTROL PLAN
C3.1	COORDINATE PLAN
C3.2	COORDINATE TABLES
C4.0	GRADING PLAN
C4.1	GRADING PLAN DETAIL
C5.0	UTILITY PLAN
C6.0	DRAINAGE MAP
C7.0	PLAN AND PROFILE
C8.0	EROSION CONTROL PLAN
C8.1	EROSION CONTROL DETAILS
C9.0	CIVIL DETAILS
C9.1	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
E4.0	PHOTOMETRIC PLAN

PROJECT CONTACTS

ARCHITECT OF RECORD

DAVID ESKOV ARCHITECTURE
 21466 W 120TH ST
 OLATHE, KS 66061
 DAVID ESKOV
 ESKOVARCH@OUTLOOK.COM

ENGINEER OF RECORD

AUBRY ENTERPRISES
 JAY D. O'DELL, P.E.
 5912 MAPLE ST
 MISSION, KS 66202
 JAY.ODELL@AUBRYENTERPRISES.COM

DEVELOPER

CIG INC.
 11251 STRANG LINE RD
 LENEXA, KS 66215

SURVEYOR OF RECORD

ALLENBRAND-DREWS & ASSOCIATES, INC.
 122 N. WATER ST
 OLATHE, KS 66061
 (913) 764-1076

APPROVED BY

NAME

DATE



JAY D. O'DELL
 25890 11/25/2025

CLIENT
QUICK N CLEAN
INC.
 19085 MADISON STREET
 SPRING HILL, KS 66083



ENGINEERING FIRM OF RECORD

REV	DESCRIPTION	DATE

SPRING HILL
CARWASH

11/25/2025

CIVIL
 IMPROVEMENTS

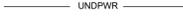
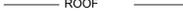
19085 MADISON ST
 SPRING HILL, KS
 66083

TITLE

GENERAL NOTES

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFIRM TO ALL APPLICABLE STANDARDS AND SPECIFICATIONS IN THE LATEST EDITION OF THE AUTHORITY HAVING JURISDICTION'S TECHNICAL SPECIFICATIONS, EXCEPT WHERE NOTED OTHERWISE
2. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED, FULL SIZED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.
3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASURES, NOT SLOPE MEASUREMENTS.
4. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY IMPROVEMENTS OR IMPEDIMENTS THAT ENCROACH ON THE CITY'S RIGHT-OF-WAY.
5. THE EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE SHOWN IN AN APPROXIMATE WAY FROM THE UTILITY COMPANY RECORDS AND BY FIELD LOCATION BASED ON A SURVEY PERFORMED BY ALLENBRAND-DREWS & ASSOCIATES, INC.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION TO PROVIDE NON-INTERRUPTION OF SERVICE, TO ENSURE PROPER CLEARANCES, AND TO AVOID DAMAGE THERETO. UTILITIES DAMAGED THROUGH THE NEGLIGENCE OF THE CONTRACTOR TO OBTAIN THE LOCATION OF SAME SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
7. CONTRACTOR SHALL PROTECT AND NOT DISTURB EXISTING BENCHMARKS DURING GRADING AND/OR CONSTRUCTION, UNLESS OTHERWISE APPROVED BY ENGINEER
8. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TRAFFIC HANDLING MEASURES NECESSARY TO ENSURE THAT THE GENERAL PUBLIC IS PROTECTED AT ALL TIMES. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD-LATEST EDITION).
10. CONDITIONS OF THE SITE AT THE TIME OF CONSTRUCTION MAY VARY FROM THE SURVEYED CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITION PRIOR TO BEGINNING CONSTRUCTION. IF FIELD CONDITIONS DIFFERS FROM THE PLANS, CONTACT THE ENGINEER FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
11. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC ROADWAYS ADJACENT TO THE CONSTRUCTION SITE FREE OF DIRT AND DEBRIS RESULTING FROM ACTIVITIES RELATED TOT HE CONSTRUCTION OF THIS PROJECT.
12. CONTRACTOR SHALL KEEP THE ENTIRE PROJECT SITE FREE OF DEBRIS, WEED, AND TRASH AT ALL TIMES. CONTRACTOR SHALL EXECUTE WORK USING METHODS THAT MINIMIZE EXCESSIVE NOISE OR DUST EMISSIONS. CONTRACTOR SHALL PROVIDE METHODS, MEANS, AND FACILITIES TO PREVENT CONTAMINATION OF SOIL OR WATER FROM DISCHARGE OF REGULATED MATERIALS (I.G. DIESEL FUEL) USED DURING CONSTRUCTION.
13. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
14. THE CONTRACTOR SHALL INSTALL ALL LIGHTING CONDUIT PRIOR TO CONSTRUCTING PAVEMENT.
15. CONTRACTOR SHALL USE A LICENSED SURVEYOR TO PERFORM THE CONSTRUCTION STAKING ON THE PROJECT.
16. SIDEWALK, SIDEWALK RAMPS, AND DRIVEWAYS ALONG THE DESIGNATED ACCESSIBLE ROUTE MUST BE ADA COMPLIANT.
17. CONTRACTOR RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTACT OWNER FOR DETERMINATION OF PAYMENT.
18. ALL CONCRETE PLACED WITHIN THE RIGHT-OF-WAY SHALL BE KCMMB4K MIX.

GENERAL LEGEND

 CATV	EXISTING CABLE LINE	 CATV	CABLE LINE
 COMM	EXISTING COMMUNICATION LINE	 COMM	COMMUNICATION LINE
 NGAS	EXISTING NATURAL GAS LINE	 NGAS	NATURAL GAS LINE
 OVRHEADPOWR	EXISTING OVERHEAD POWER LINE	 OVRHEADPOWR	OVERHEAD POWER LINE
 UNDPWR	EXISTING UNDERGROUND POWER LINE	 UNDPWR	UNDERGROUND POWER LINE
 SAN	EXISTING SANITARY LINE	 SAN	SANITARY LINE
 ROOF	EXISTING ROOF DRAIN	 ROOF	ROOF DRAIN
 WATER	EXISTING WATER LINE	 WATER	WATER LINE
	PROJECT BOUNDARY		PROPOSED LIGHT POLE
	ADJACENT PROPERTY		TRAFFIC DIRECTION (FOR REFERENCE)
	EXISTING LIGHT POLE		EXISTING UTILITY POLE
	EXISTING HYDRANT		


 JAY D. O'DELL
 25890
 11/25/2025

CLIENT
QUICK N CLEAN INC.
 19085 MADISON STREET
 SPRING HILL, KS 66083

ENGINEERING FIRM OF RECORD

 KANSAS OFFICE
 5912 MAPLE ST
 MISSION, KS 66202

REV	DESCRIPTION	DATE

SPRING HILL CARWASH

11/25/2025
 CIVIL IMPROVEMENTS

19085 MADISON ST
 SPRING HILL, KS
 66083

GENERAL NOTES
C0.0

DEMOLITION PLAN



DEMOLITION NOTES

1. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. CALL "811" FOR UTILITY LOCATES AND HAVE UTILITIES MARKED PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ANY STRUCTURES TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OPERATIONS SHALL BE REPAIRED BACK TO MEET CURRENT CODE AT A MINIMUM AND SHALL BE APPROVED BY ENGINEER AND OWNER AT NO ADDITIONAL COST TO OWNER
3. CONTRACTOR SHALL REMOVE ANY AND ALL EXISTING DEBRIS WHICH IS ENCOUNTERED FROM THE EXISTING SITE.
4. ALL REMOVALS REQUIRED TO PROPERLY PERFORM THE WORK, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE PERFORMED BY THE CONTRACTOR.
5. ALL TREE, BUSH, AND OR STUMP REMOVALS SHALL INCLUDE THE PLANT, AND THE ROOT IN THEIR ENTIRETY
6. ALL PAVEMENT REMOVALS SHALL BE DONE WITH STRAIGHT, CLEAN CUTS BY SAWCUTTING FULL-DEPTH. WHERE REMOVALS ABUT EXISTING FEATURES CUTS SHALL BE MADE AT THE NEAREST CONTROL JOINT
7. CONTRACTOR IS RESPONSIBLE TO MEET ALL APPLICABLE LAWS AND REGULATIONS PERTAINING TO THE DISPOSAL OF ON SITE MATERIALS
8. ALL PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION ACTIVITY. THE CONTRACTOR SHALL PROVIDE A 6' SECURITY FENCE AROUND THE ENTIRE JOB SITE.
9. ALL REMOVALS REQUIRED TO PROPERLY PERFORM THE WORK, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE PERFORMED BY THE CONTRACTOR AND CAPTURED IN THE INITIAL BID AS TO NOT INCUR ANY ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION.

PLAN NOTES

1. SAW CUT AND REMOVE EXISTING CURB AND GUTTER
2. CLEAR AND GRUB ENTIRE PROPERTY
3. EXISTING SANITARY LINE TO REMAIN
4. EXISTING WATER MAIN TO REMAIN
5. EXISTING UNDERGROUND ELECTRIC TO REMAIN



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25890 11/25/2025

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aubry enterprises.
KANSAS OFFICE
5912 MAPLE ST
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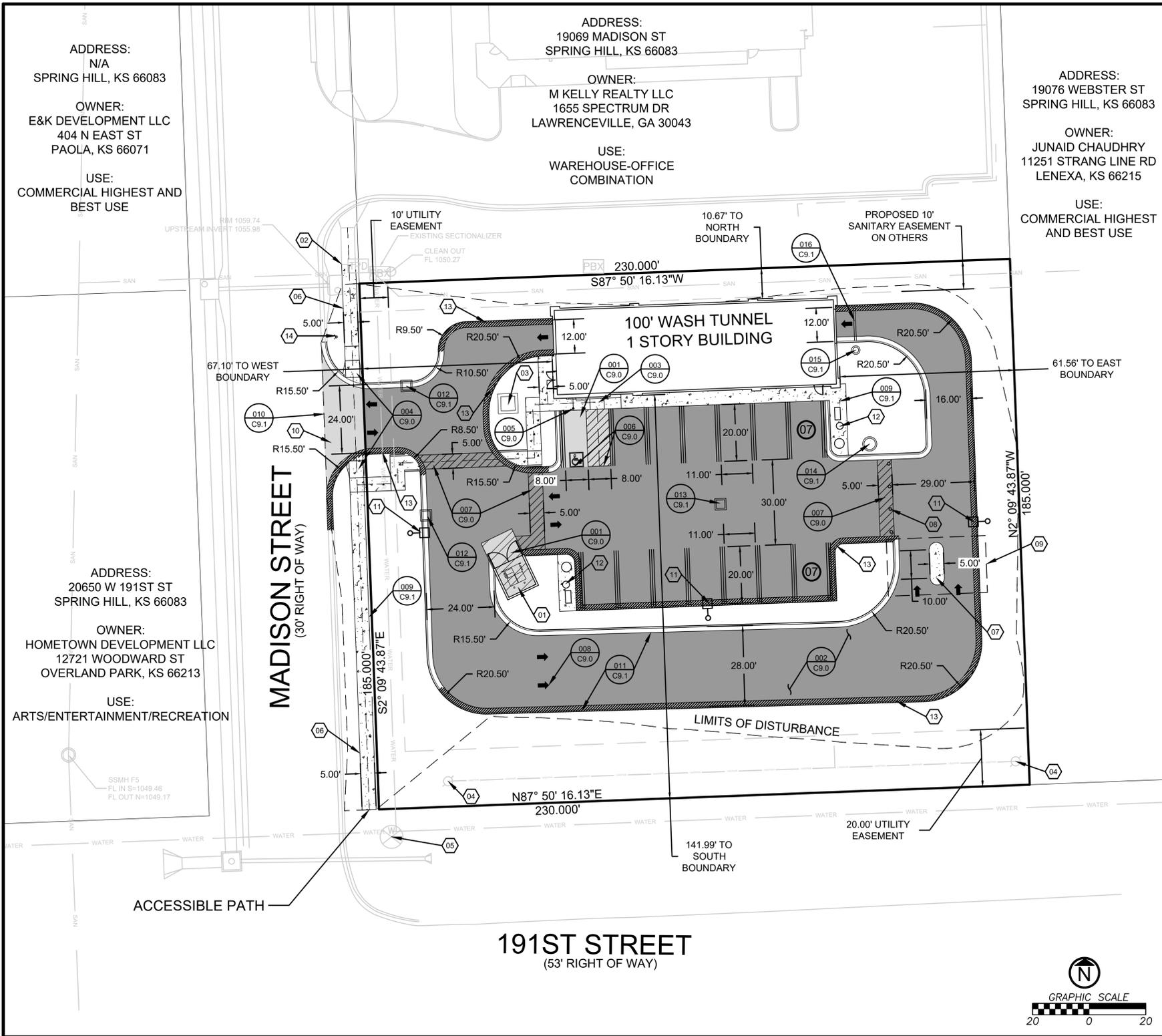
SPRING HILL CARWASH

11/25/2025
CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

DEMOLITION PLAN
C1.0

SITE PLAN



ADDRESS:
N/A
SPRING HILL, KS 66083

OWNER:
E&K DEVELOPMENT LLC
404 N EAST ST
PAOLA, KS 66071

USE:
COMMERCIAL HIGHEST AND
BEST USE

ADDRESS:
19069 MADISON ST
SPRING HILL, KS 66083

OWNER:
M KELLY REALTY LLC
1655 SPECTRUM DR
LAWRENCEVILLE, GA 30043

USE:
WAREHOUSE-OFFICE
COMBINATION

ADDRESS:
19076 WEBSTER ST
SPRING HILL, KS 66083

OWNER:
JUNAID CHAUDHRY
11251 STRANG LINE RD
LENEXA, KS 66215

USE:
COMMERCIAL HIGHEST
AND BEST USE

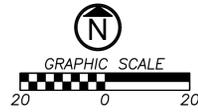
ADDRESS:
20650 W 191ST ST
SPRING HILL, KS 66083

OWNER:
HOMETOWN DEVELOPMENT LLC
12721 WOODWARD ST
OVERLAND PARK, KS 66213

USE:
ARTS/ENTERTAINMENT/RECREATION

MADISON STREET
(30' RIGHT OF WAY)

191ST STREET
(53' RIGHT OF WAY)



CONSTRUCTION NOTES

- 01 TRASH ENCLOSURE
- 02 CONNECTION TO EXISTING 5' SIDEWALK
- 03 PROPOSED TRANSFORMER PAD LOCATION
- 04 EXISTING POWER POLE
- 05 EXISTING WATER VALVE
- 06 PROPOSED 5' SIDEWALK
- 07 PROPOSED CONCRETE ISLAND WITH PAY STATION
- 08 BOLLARD
- 09 CANOPY
- 10 DRIVEWAY ENTRANCE. MIN. 7" CONCRETE
- 11 LIGHT POLE
- 12 VACUUM HOUSING STATION
- 13 DRY CURB
- 14 FIRE HYDRANT

DETAIL CALLOUTS

- 001 CONCRETE PAVEMENT SECTION
- 002 ASPHALT SECTION
- 003 ADA RAMP TYPE 1
- 004 ADA RAMP TYPE 2
- 005 ADA SIGN
- 006 ADA PAVEMENT MARKINGS
- 007 CROSSWALK STRIPING
- 008 PAVEMENT MARKINGS
- 009 SIDEWALK SECTION
- 010 ASPHALT BUTT JOINT
- 011 CURB AND GUTTER
- 012 CURB INLET
- 013 AREA INLET
- 014 MANHOLE
- 015 NYLOPLAST INLINE DRAIN
- 016 TRENCH DRAIN
- 017 CURB REPLACEMENT

SITE DATA

ZONING M-1 (GENERAL INDUSTRIAL DISTRICT)

TOTAL PROPERTY AREA 0.98 ACRES
DISTURBED AREA 0.86 ACRES

BUILDING DATA

BUILDING GROSS SF APPROX 4,375 SQ FT

PARKING DATA

CITY REQUIREMENT - NOT LESS THAN ONE SPACE SHALL BE PROVIDED FOR EACH 500-SQ. FT. OF TOTAL FLOOR AREA. PARKING SHALL NOT BE CLOSER TO A STREET OR RESIDENTIAL LOT THAN 25 FEET, OTHERWISE NOT LESS THAN TEN FEET. IN ADDITION, PARKING SHALL NOT BE PERMITTED IN REQUIRED BUFFER / SCREENS SET FORTH BY SECTION 17.360

REQUIRED PARKING 9 (APPROX. 4,375 SQ FT/500)
PROVIDED PARKING 14
ADA ACCESSIBLE REQUIRED 1 (1 PER 25)
ADA ACCESSIBLE PROVIDED 1

LEGAL DESCRIPTION

COUNTRY MEADOWS INDUSTRIAL PARK 4TH PLAT LT 13 SPC 50 2C 13

PARCEL NUMBER

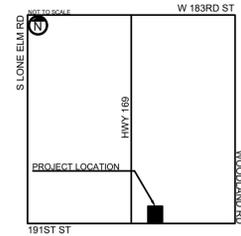
EP20300000 0013

OWNER INFORMATION

CHAUDHRY, JUNAID
11251 STRANG LINE RD
LENEXA, KS 66215

HATCH LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK PAVEMENT
- DRY CURB SECTION



SITE VICINITY MAP
S35-T14S-R23E



JAY D. O'DELL
25890 11/25/2025

CLIENT
**QUICK N CLEAN
INC.**
19085 MADISON STREET
SPRING HILL, KS 66083



ENGINEERING FIRM OF RECORD

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SPRING HILL
CARWASH

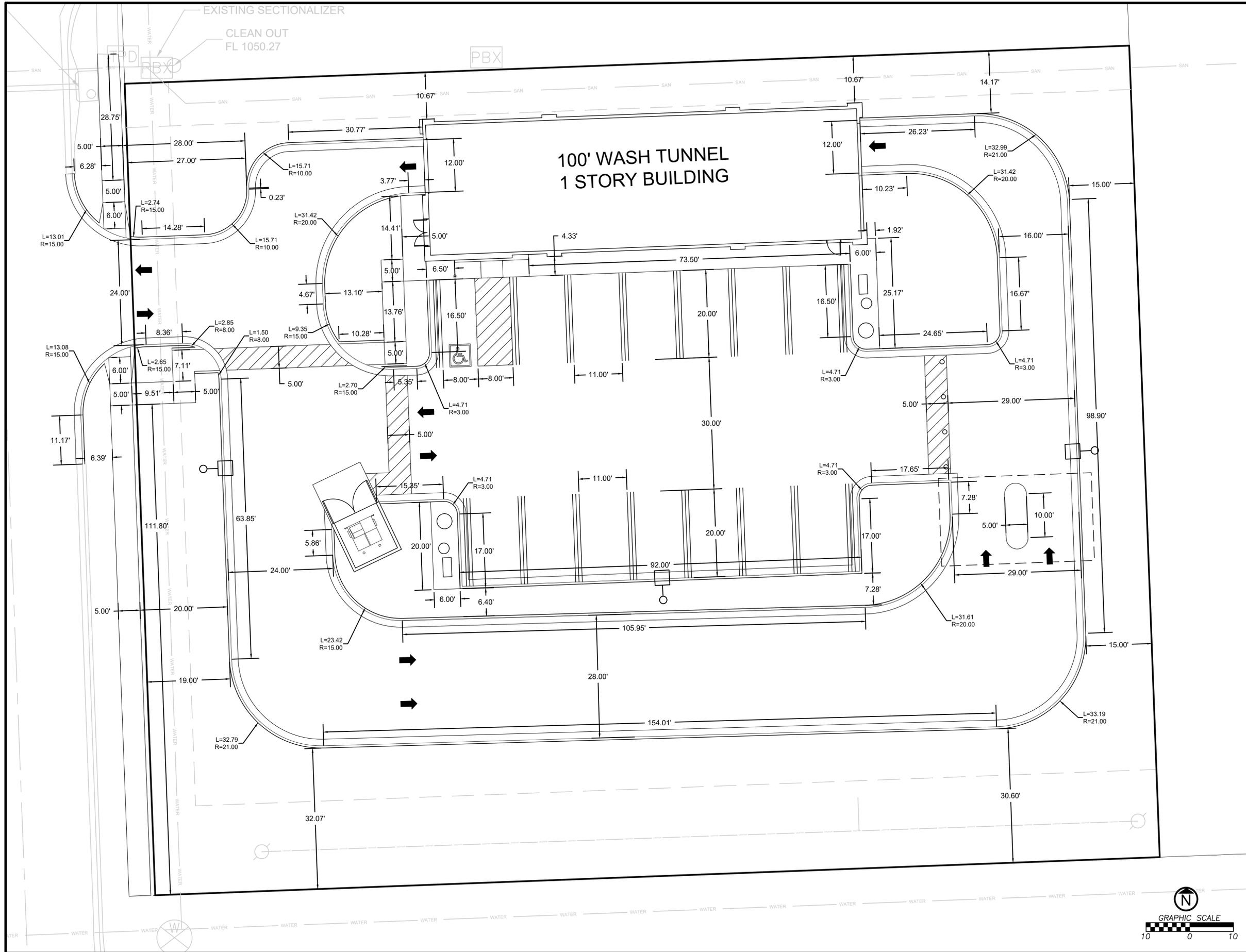
11/25/2025
CIVIL
IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

SITE PLAN

C2.0

DIMENSION CONTROL PLAN



JAY D. O'DELL
25890 11/25/2025

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QUICK N CLEAN INC.
19085 MADISON STREET
SPRING HILL, KS 66083

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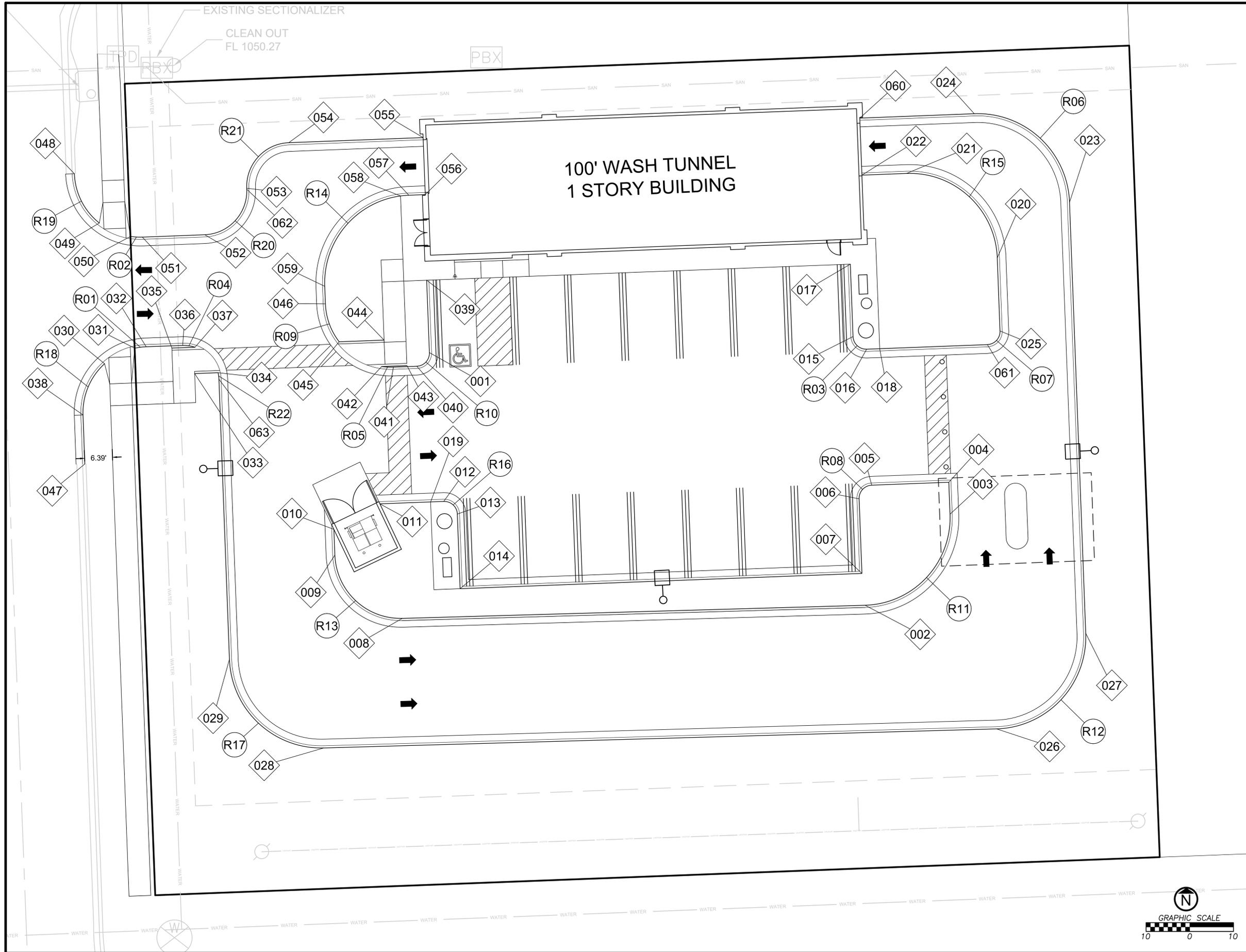
SPRING HILL CARWASH

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CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

DIMENSION CONTROL PLAN
C3.0

DIMENSION CONTROL PLAN



JAY D. O'DELL
25890 11/25/2025

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SPRING HILL, KS 66083

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REV	DESCRIPTION	DATE

SPRING HILL CARWASH

11/25/2025
CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

COORDINATE PLAN
C3.1

COORDINATE TABLES



JAY D. O'DELL
25890 11/25/2025

CLIENT

**QUICK N CLEAN
INC.**
19085 MADISON STREET
SPRING HILL, KS 66083

ENGINEERING FIRM OF RECORD

**aubry
enterprises.**
KANSAS OFFICE
5912 MAPLE ST
MISSION, KS 66202

REV	DESCRIPTION	DATE

**SPRING HILL
CARWASH**

11/25/2025
CIVIL
IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

**COORDINATE
TABLES
C3.2**

BACK OF CURB		
PNT#	N-COORD	E-COORD
001	N: 179422.04	E: 2217868.07
002	N: 179364.48	E: 2217967.77
003	N: 179385.23	E: 2217987.19
004	N: 179392.50	E: 2217986.92
005	N: 179391.84	E: 2217969.28
006	N: 179388.73	E: 2217966.40
007	N: 179371.74	E: 2217967.04
008	N: 179361.49	E: 2217861.86
009	N: 179375.92	E: 2217846.45
010	N: 179381.77	E: 2217846.22
011	N: 179387.59	E: 2217856.74
012	N: 179388.14	E: 2217871.35

013	N: 179385.26	E: 2217874.46
014	N: 179368.27	E: 2217875.10
015	N: 179425.70	E: 2217965.00
016	N: 179422.82	E: 2217968.11
017	N: 179442.19	E: 2217964.38
018	N: 179422.93	E: 2217971.11
019	N: 179388.03	E: 2217868.35
020	N: 179443.62	E: 2217998.00
021	N: 179462.85	E: 2217977.26
022	N: 179462.47	E: 2217967.03
023	N: 179456.26	E: 2218014.53
024	N: 179476.46	E: 2217992.75
025	N: 179426.97	E: 2217998.62
026	N: 179336.32	E: 2217997.84
027	N: 179358.10	E: 2218018.24

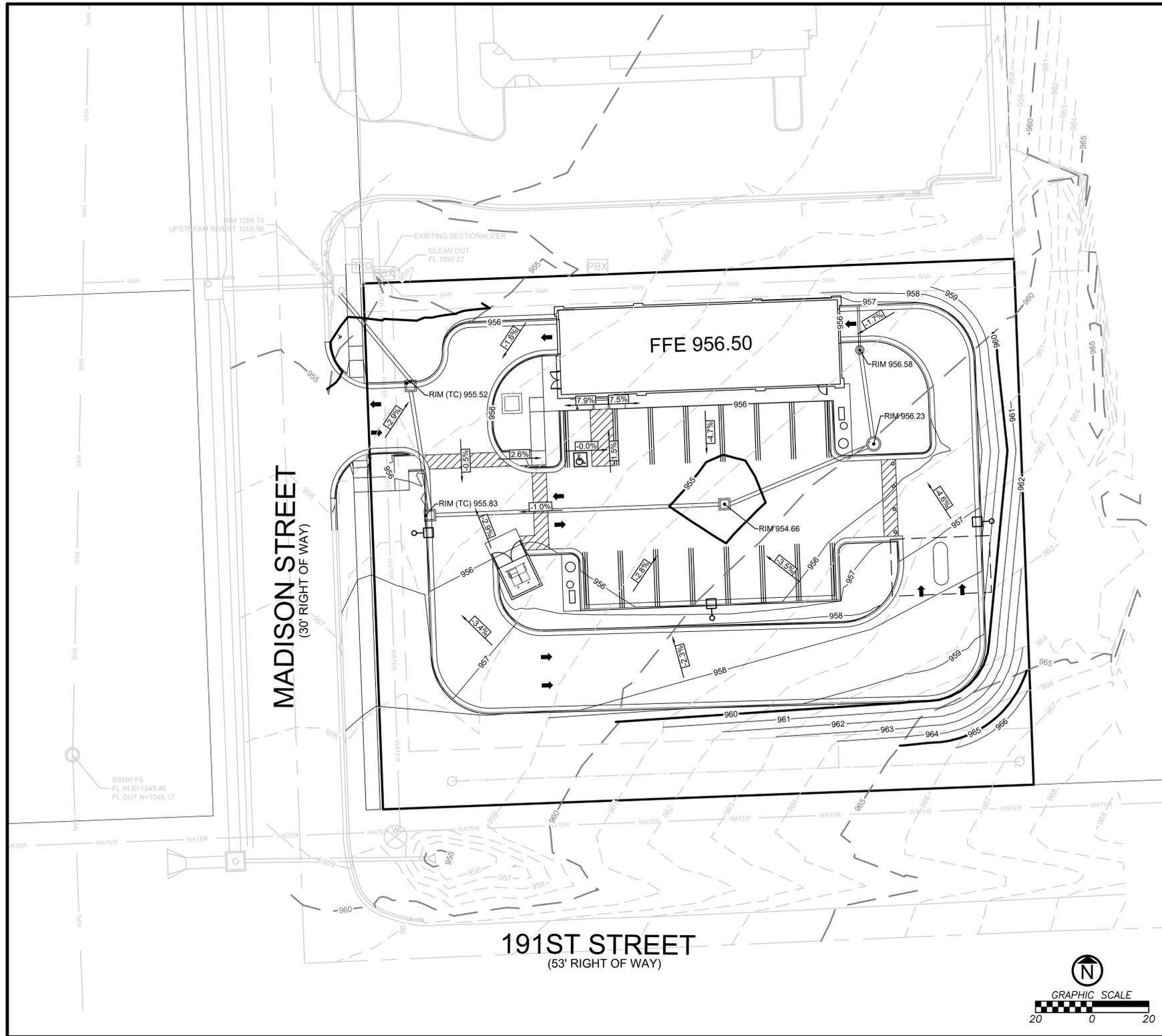
028	N: 179331.97	E: 2217843.90
029	N: 179352.17	E: 2217822.32
030	N: 179419.50	E: 2217793.76
031	N: 179423.04	E: 2217800.65
032	N: 179423.37	E: 2217803.28
033	N: 179417.26	E: 2217814.37
034	N: 179417.46	E: 2217819.72
035	N: 179423.07	E: 2217809.15
036	N: 179423.67	E: 2217811.63
037	N: 179423.27	E: 2217814.44
038	N: 179407.84	E: 2217788.83
039	N: 179438.53	E: 2217867.45
040	N: 179418.93	E: 2217865.18
041	N: 179418.73	E: 2217859.84
042	N: 179418.87	E: 2217857.15

043	N: 179419.09	E: 2217862.93
044	N: 179424.89	E: 2217857.71
045	N: 179424.51	E: 2217847.43
046	N: 179433.15	E: 2217844.28
047	N: 179396.67	E: 2217789.23
048	N: 179462.80	E: 2217786.84
049	N: 179451.56	E: 2217792.55
050	N: 179448.50	E: 2217799.67
051	N: 179448.35	E: 2217802.40
052	N: 179448.89	E: 2217816.67
053	N: 179459.49	E: 2217826.28
054	N: 179469.86	E: 2217835.89
055	N: 179471.02	E: 2217866.64
056	N: 179458.03	E: 2217867.13
057	N: 179457.89	E: 2217863.36

058	N: 179457.73	E: 2217861.47
059	N: 179437.15	E: 2217844.13
060	N: 179475.46	E: 2217966.54
061	N: 179423.86	E: 2217995.74
062	N: 179459.26	E: 2217826.28
063	N: 179415.98	E: 2217819.91

RADIUS			
PNT#	N-COORD	E-COORD	RAD
R01	N: 179408.37	E: 2217803.82	R: 15.01
R02	N: 179463.34	E: 2217801.83	R: 15.00
R03	N: 179425.81	E: 2217968.00	R: 3.00
R04	N: 179415.68	E: 2217811.92	R: 8.00
R05	N: 179433.72	E: 2217859.27	R: 15.00
R06	N: 179442.87	E: 2217978.01	R: 40.90
R07	N: 179426.86	E: 2217995.63	R: 3.00
R08	N: 179388.84	E: 2217969.39	R: 3.00
R09	N: 179433.72	E: 2217859.27	R: 15.00
R10	N: 179421.93	E: 2217865.07	R: 3.00
R11	N: 179384.47	E: 2217967.21	R: 20.00
R12	N: 179357.31	E: 2217997.25	R: 21.00
R13	N: 179376.49	E: 2217861.43	R: 15.00
R14	N: 179437.90	E: 2217864.12	R: 20.00
R15	N: 179442.87	E: 2217978.01	R: 20.00
R16	N: 179385.14	E: 2217871.46	R: 3.00
R17	N: 179352.97	E: 2217843.31	R: 21.00
R18	N: 179408.37	E: 2217803.82	R: 15.00
R19	N: 179463.34	E: 2217801.83	R: 15.00
R20	N: 179458.88	E: 2217816.29	R: 10.00
R21	N: 179459.87	E: 2217836.27	R: 10.00
R22	N: 179415.68	E: 2217811.92	R: 8.00

GRADING PLAN



GRADING NOTES

1. GRADING MATERIALS AND PROCEDURES SHALL BE IN ACCORDANCE WITH KDOT TECHNICAL SPECIFICATIONS. ANY REQUIREMENTS SET FORTH IN THE PLANS THAT ARE IN CONFLICT WITH KDOT STANDARDS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD
2. FILL MATERIALS SHALL BE PLACED IN ACCORDANCE TO KDOT STANDARDS AND AS DIRECTED BY THE ONSITE GEOTECHNICAL ENGINEER
3. CONTRACTOR SHALL OPERATE UNDER THE TERMS AND PERMITS INCLUDED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND PERMITTED THROUGH THE STATE OF KANSAS.
4. ALL PROPOSED CONTOUR LINES AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR SHALL ACCOUNT FOR PAVEMENT DEPTHS, TOPSOIL, AGGREGATE BASES, ETC WHEN GRADING THE SITE
5. ALL EXCAVATIONS AND EMBANKMENTS SHALL COMPLY WITH THE REQUIREMENTS OF KDOT AND JOHNSON COUNTY. FINISHED GRADES SHALL NOT BE STEEPER THAN 3:1
6. ALL GRADING WORK SHALL BE CONSIDERED UNCLASSIFIED, NO ADDITIONAL PAYMENTS SHALL BE MADE FOR ROCK EXCAVATION. CONTRACTOR SHALL SATISFY HIMSELF AS TO ANY ROCK EXCAVATION REQUIRED TO ACCOMPLISH THE IMPROVEMENTS SHOWN HEREON.
7. UNLESS OTHERWISE NOTED, ALL PAVEMENT GRADES SHALL BE ASSUMED 6" LOWER THAN TOP OF CURB ELEVATIONS.

BASIS OF BEARING

KANSAS STATE PLANE, NORTH ZONE

PROJECT BENCHMARK

BM #142
 VERTICAL DATUM: NAVD88 BASED ON GPS OBSERVATION USING JOHNSON COUNTY VERTICAL NETWORK
 ELEV: 1078.98
 DESC: 2" ALUMINUM DOME MONUMENT 10 FOOT NORTH OF SOUTH END OF CURB WEST SIDE OF WEBSTER NORTH OF 191ST STREET

GRADING LEGEND

- EXISTING 5' CONTOUR
- - - EXISTING 1' CONTOUR
- FUTURE 5' CONTOUR
- - - FUTURE 1' CONTOUR
- PROPOSED 5' CONTOUR
- - - PROPOSED 1' CONTOUR
- - - PROPOSED HIGH POINT/ RIDGE

- TP XX PROPOSED TOP OF PAVEMENT ELEVATION
- TS XX PROPOSED TOP OF SIDEWALK ELEVATION
- TC XX TOP OF CURB ELEVATION
- EX XX EXISTING TOP OF CURB ELEVATION
- EX XX EXISTING ELEVATION
- EX TP XX EXISTING TOP OF PAVEMENT ELEVATION
- EX TS XX EXISTING TOP OF SIDEWALK ELEVATION



JAY D. O'DELL
 25890 11/25/2025

CLIENT
QUICK N CLEAN INC.
 19085 MADISON STREET
 SPRING HILL, KS 66083

ENGINEERING FIRM OF RECORD

 KANSAS OFFICE
 5912 MAPLE ST
 MISSION, KS 66202

REV	DESCRIPTION	DATE

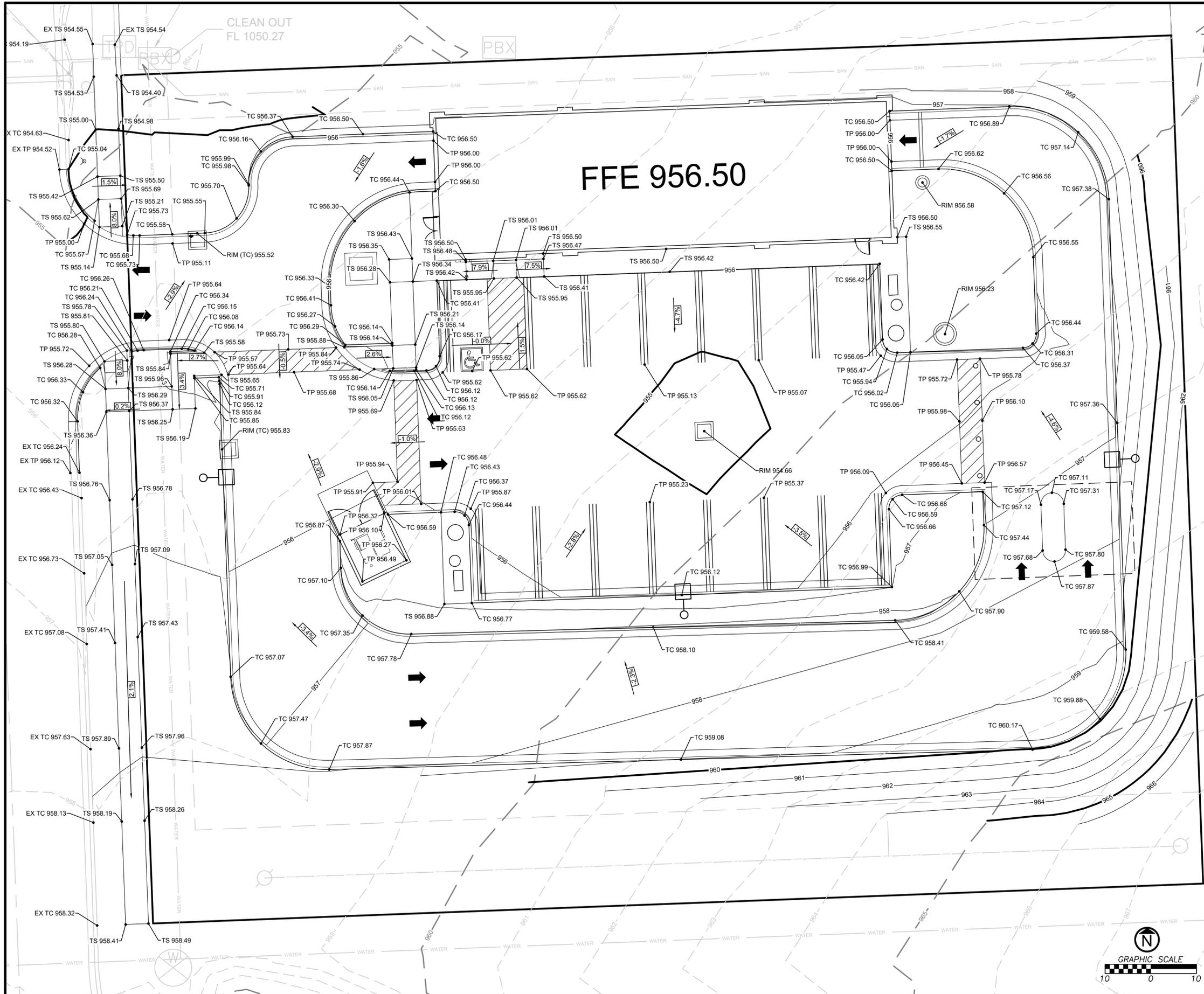
SPRING HILL CARWASH

11/25/2025
 CIVIL IMPROVEMENTS

19085 MADISON ST
 SPRING HILL, KS
 66083

GRADING PLAN
C4.0

GRADING PLAN DETAIL



GRADING LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- FUTURE 5' CONTOUR
- FUTURE 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED HIGH POINT/ RIDGE
- TP XX PROPOSED TOP OF PAVEMENT ELEVATION
- TS XX PROPOSED TOP OF SIDEWALK ELEVATION
- TC XX TOP OF CURB ELEVATION
- EX XX EXISTING TOP OF CURB ELEVATION
- EX XX EXISTING ELEVATION
- EX TP XX EXISTING TOP OF PAVEMENT ELEVATION
- EX TS XX EXISTING TOP OF SIDEWALK ELEVATION



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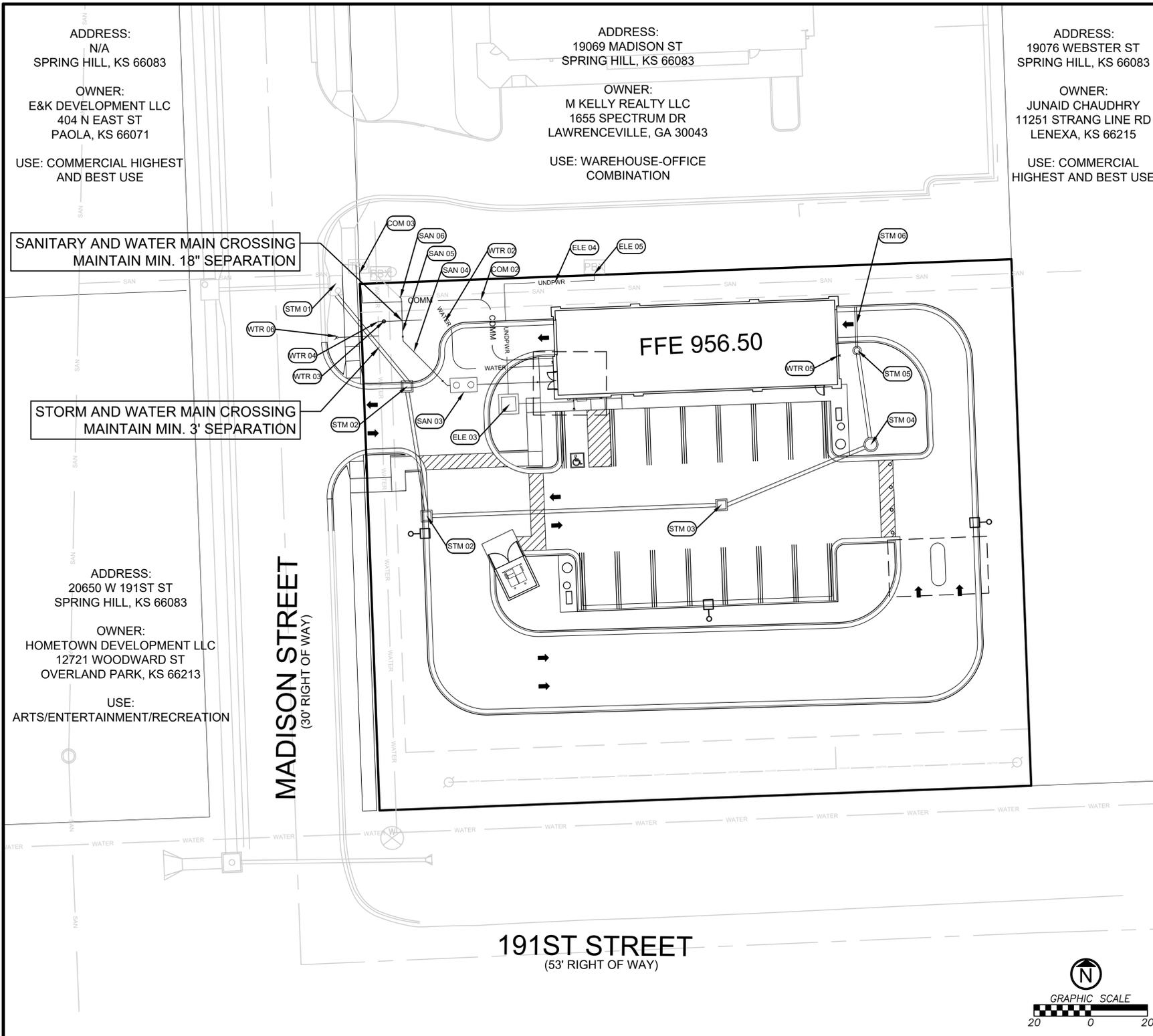
SPRING HILL CARWASH

11/25/2025
CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

GRADING PLAN DETAIL
C4.1

UTILITY PLAN



ADDRESS:
N/A
SPRING HILL, KS 66083

OWNER:
E&K DEVELOPMENT LLC
404 N EAST ST
PAOLA, KS 66071

USE: COMMERCIAL HIGHEST
AND BEST USE

ADDRESS:
19069 MADISON ST
SPRING HILL, KS 66083

OWNER:
M KELLY REALTY LLC
1655 SPECTRUM DR
LAWRENCEVILLE, GA 30043

USE: WAREHOUSE-OFFICE
COMBINATION

ADDRESS:
19076 WEBSTER ST
SPRING HILL, KS 66083

OWNER:
JUNAID CHAUDHRY
11251 STRANG LINE RD
LENEXA, KS 66215

USE: COMMERCIAL
HIGHEST AND BEST USE

SANITARY AND WATER MAIN CROSSING
MAINTAIN MIN. 18" SEPARATION

STORM AND WATER MAIN CROSSING
MAINTAIN MIN. 3' SEPARATION

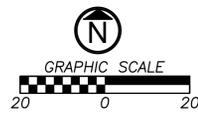
ADDRESS:
20650 W 191ST ST
SPRING HILL, KS 66083

OWNER:
HOMETOWN DEVELOPMENT LLC
12721 WOODWARD ST
OVERLAND PARK, KS 66213

USE:
ARTS/ENTERTAINMENT/RECREATION

MADISON STREET
(30' RIGHT OF WAY)

191ST STREET
(53' RIGHT OF WAY)



UTILITY NOTES

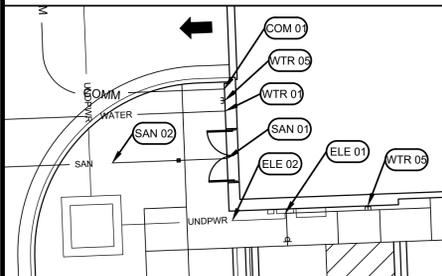
- ELE 01 CONNECTION TO BUILDING WITH CT CABINET, METERING, AND MAIN SERVICE DISCONNECT. SEE ELECTRICAL PLANS FOR CONTINUATION
- ELE 02 SECONDARY CONDUIT ROUTE. CONTRACTOR TO COORDINATE WITH PROVIDER FOR EXACT DESIGN
- ELE 03 PROPOSED LOCATION OF PAD MOUNTED UTILITY TRANSFORMER
- ELE 04 PRIMARY ROUTE TO BE COORDINATED WITH PROVIDER
- ELE 05 CONNECTION TO EXISTING POWER BOX. CONTRACTOR TO COORDINATE WITH PROVIDER FOR CONNECTION DETAILS

- WTR 01 2" PEX DOMESTIC CONNECTION TO BUILDING. SEE PLUMBING PLANS FOR CONTINUATION
- WTR 02 2" PEX DOMESTIC SERVICE LINE
- WTR 03 PROPOSED 2" TAP LOCATION ON EXISTING WATER MAIN. MIN. 5' FROM ANY PIPE JOINT IN THE WATER MAIN OR OTHER TAPS ON THE WATER MAIN
- WTR 04 CONNECTION POINT TO EXISTING WATER MAIN. SERVICE SADDLE AND CORP STOP TO BE PROVIDED AND INSTALLED BY WATERONE
- WTR 05 HOSE BIB
- WTR 06 INSTALL FIRE HYDRANT ASSEMBLY.

- SAN 01 6" SDR 26 PVC WASTE CONNECTION TO BUILDING. FL 963.00'. SEE PLUMBING PLANS FOR CONTINUATION
- SAN 02 INSTALL 27.08 LF OF 6" SDR 26 PVC @2.00% WITH CLEANOUT TO SAND OIL SEPARATOR. FL 952.46'
- SAN 03 SAND OIL SEPARATOR. FL IN/OUT 952.46'
- SAN 04 FROM SAND OIL SEPARATOR CONNECTION, INSTALL 22.17 LF OF 6" SDR 26 PVC @2.77% TO BEND. FL 951.85'
- SAN 05 FROM BEND, INSTALL 14.83 LF OF 6" SDR 26 PVC @3.00% TO VERTICAL DROP. FL 951.40'
- SAN 06 INSTALL 1 FOOT VERTICAL DROP @100.00% TO CONNECTION POINT WITH EXISTING SANITARY MAIN. CONNECTION TO BE MADE BY CUTTING IN A SANITARY WYE AND FERNCO STRONG BACK COUPLING OR APPROVED EQUAL. EX FL 950.40±. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION

- STM 01 EXISTING CURB INLET
- STM 02 CURB INLET
- STM 03 AREA INLET
- STM 04 MANHOLE
- STM 05 NYLOPLAST INLINE DRAIN
- STM 06 TRENCH DRAIN (SEE DETAIL 16 ON C9.1)

- COM 01 CONNECTION TO BUILDING
- COM 02 PROPOSED SERVICE ROUTE
- COM 03 CONNECTION POINT TO EXISTING TELEPHONE BOX. CONNECTION DETAIL TO BE COORDINATED WITH PROVIDER



BUILDING CONNECTIONS



JAY D. O'DELL
25890
11/25/2025

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SPRING HILL, KS 66083

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aubry enterprises.
KANSAS OFFICE
5912 MAPLE ST
MISSION, KS 66202

REV	DESCRIPTION	DATE

SPRING HILL CARWASH

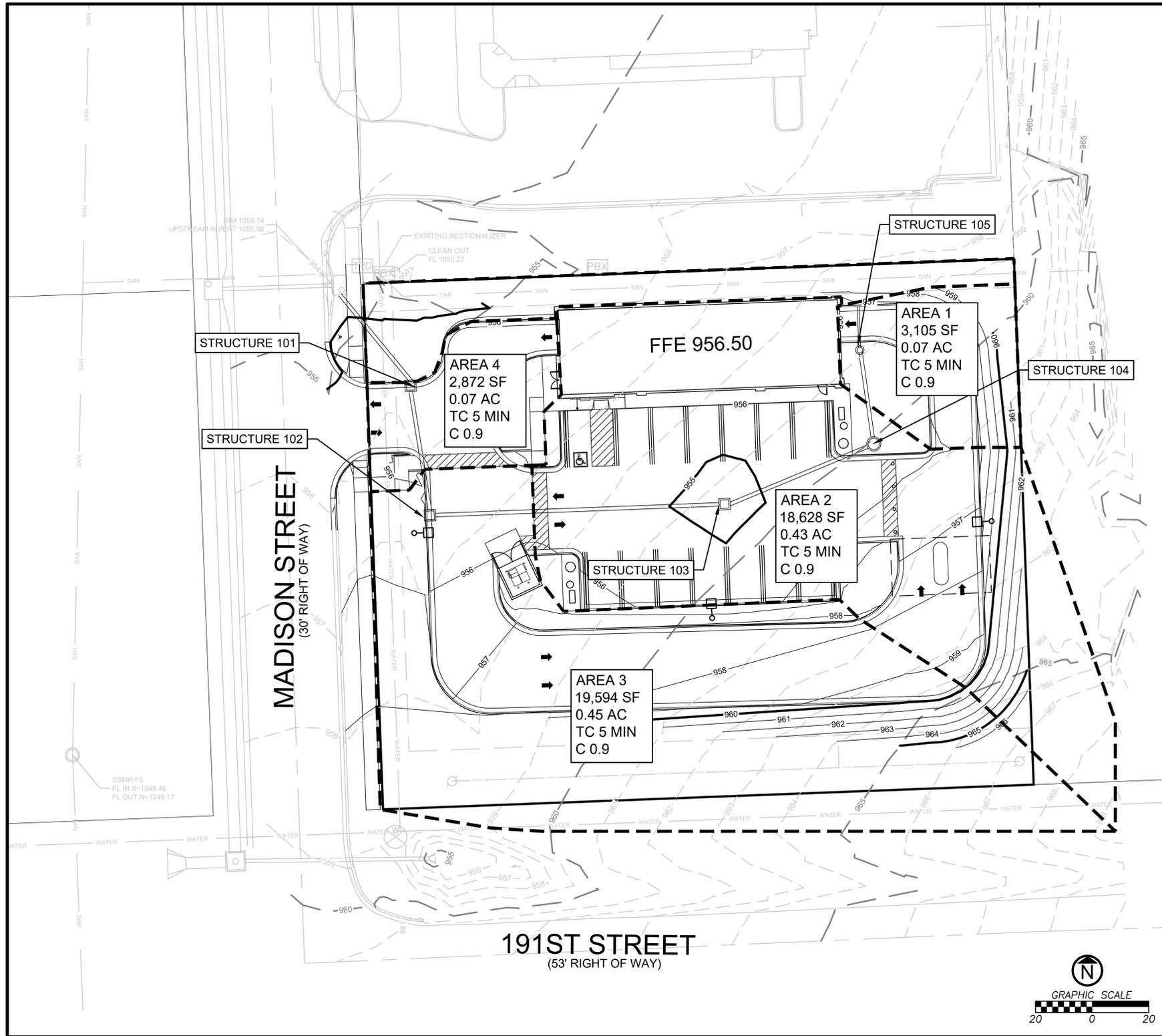
11/25/2025
CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

UTILITY PLAN

C5.0

GRADING PLAN



10-YEAR STORM EVENT

STRUCTURE	STORM LINE 100 (10 Year Storm)					
	105	104	103	102	101	EX1
RIM	956.58	956.23	954.66	955.83	955.52	954.5
INVERT	696.76	696.12	695.40	693.68	693.68	948.74
STRUCTURE DROP	0	0.1	0.1	0.1	0.1	0.45
CONTRIBUTING AREA (AC)	0.07	0	0.43	0.45	0.07	
RATIONAL C	0.9	0.9	0.9	0.9	0.9	
TC (MIN)	5	5	5	5	5	
INTENSITY (IN/HR) (10 YR)	8.34	8.34	8.34	8.34	8.34	
K VALUE	1	1	1	1	1	
INFLOW (CFS)	0.54	0	3.21	3.38	0.49	0
LINK ID	104-103	103-102	102-101	101-EX	101-EX	
LENGTH	33.36	56.78	105.6	47.41	42.15	
DIAMETER	15	15	15	15	15	
SLOPE	0.75%	0.75%	0.75%	1.15%	1.25%	
UP INVERT	696.47	695.93	694.57	694.33	949.72	
DOWN INVERT	696.22	695.50	693.78	693.78	949.19	
MANNINGS N	0.012	0.012	0.012	0.012	0.012	
CAPACITY (CFS)	6.07	6.07	6.07	7.52	7.84	
TOTAL Q	0.535035	0.535035	3.744901	7.121227	7.616109	

GRADING LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- FUTURE 5' CONTOUR
- FUTURE 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- PROPOSED HIGH POINT/ RIDGE
- TP XX PROPOSED TOP OF PAVEMENT ELEVATION
- TS XX PROPOSED TOP OF SIDEWALK ELEVATION
- TC XX TOP OF CURB ELEVATION
- EX XX EXISTING TOP OF CURB ELEVATION
- EX XX EXISTING ELEVATION
- EX TP XX EXISTING TOP OF PAVEMENT ELEVATION
- EX TS XX EXISTING TOP OF SIDEWALK ELEVATION



JAY D. O'DELL
25890 11/25/2025

CLIENT
QUICK N CLEAN INC.
19085 MADISON STREET
SPRING HILL, KS 66083



ENGINEERING FIRM OF RECORD

REV	DESCRIPTION	DATE

SPRING HILL CARWASH

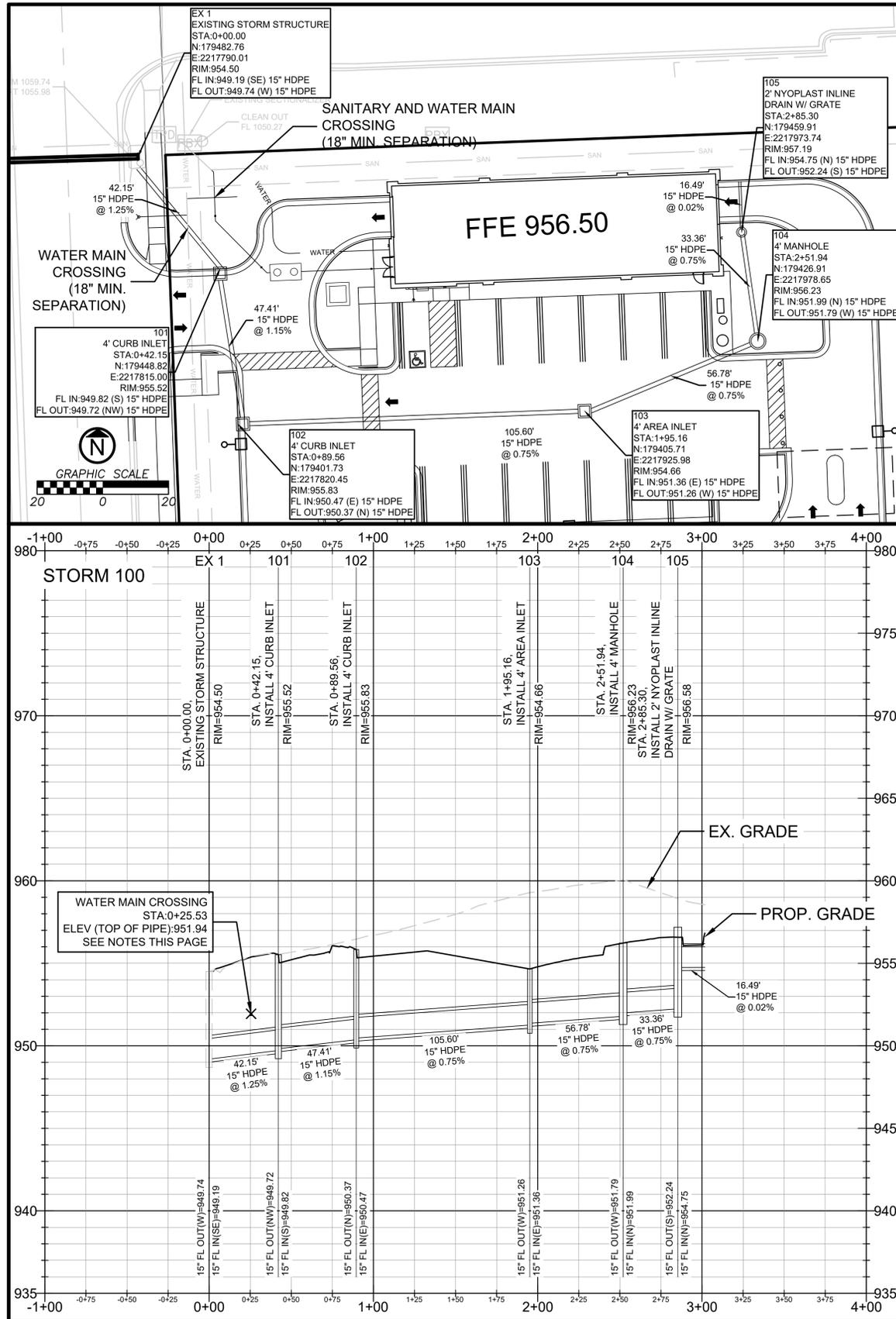
11/25/2025

CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

DRAINAGE MAP C6.0

PLAN AND PROFILE

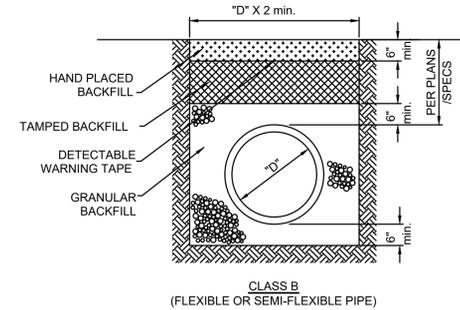


STORM NOTES

1. RIM ELEVATIONS SHOWN ON INLETS WITH CURB/CURB CASTING ARE REFERRING TO THE TOP OF CURB ELEVATION. SEE INLET DETAILS.
2. PIPE LENGTHS SHOWN ARE MEASURED FROM CENTER OF STRUCTURE. ALL PIPES SHALL BE FIELD STAKED TO INSIDE WALL FACE OF THE STRUCTURE.
3. ALL STORM CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SPRING HILL SPECIFICATIONS.
4. UTILITY LINES AND STRUCTURES IN FILL AREAS BELOW PIPE GRADE SHALL NOT BE CONSTRUCTED UNTIL ALL CONSOLIDATION OF THE FILL IS COMPLETE AND SO APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER/INSPECTOR.
5. ALL HDPE PIPE SHALL BE ADS N-12, OR APPROVED EQUAL, MEETING AASHTO M294, TYPE S OR ASTM F2306. THE PIPE SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. PIPE JOINTS SHALL BE JOINTED USING A BELL AND SPIGOT JOING MEETING AASHTO M252, AASHTO M294, OR ASTM F2306. JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.
6. FITTINGS FOR PLASTIC PIPE SHALL CONFORM TO AASHTO M252, AASHTO M294, OR ASTM F230.6. ALL WYES SHALL BE DUAL WALL WYES CONSISTENT WITH ADS N-12 PIPE WATERTIGHT CONNECTIONS.

NOTES

1. TOP OF PIPE FOR WATER MAIN ASSUMED WITH MINIMUM 42" COVER
2. MINIMUM SEPARATION BETWEEN WATER MAIN LINE AND STORM SEWER LINE SHALL BE 18"
3. MINIMUM 10' SEPARATION FROM ANY PARALLEL SANITARY SEWER LINE
4. CONTRACTOR TO COORDINATE WITH WATERONE TO CONFIRM LOCATION AND ROUTE DETAILS PRIOR TO CONSTRUCTION



NOTES:

1. SEE SPECIFICATIONS FOR MATERIAL AND COMPACTION REQUIREMENTS.
2. TAMPED FILL SHALL BE FINELY DIVIDED, JOB EXCAVATED MATERIAL FREE OF DEBRIS, ORGANIC MATERIAL, AND STONES, COMPACTED PER SPECIFICATIONS.
3. HAND PLACED FILL SHALL BE FINELY DIVIDED MATERIAL, FREE OF DEBRIS AND STONES, COMPACTED PER SPECIFICATIONS. ALL PIPE SHALL BE INSPECTED PRIOR TO BACKFILL.
4. ALL PIPE COVERED PRIOR TO INSPECTION SHALL BE UNCOVERED AT THE CONTRACTORS EXPENSE.



JAY D. O'DELL
25890 11/25/2025

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SPRING HILL, KS 66083



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REV	DESCRIPTION	DATE

SPRING HILL CARWASH

11/25/2025

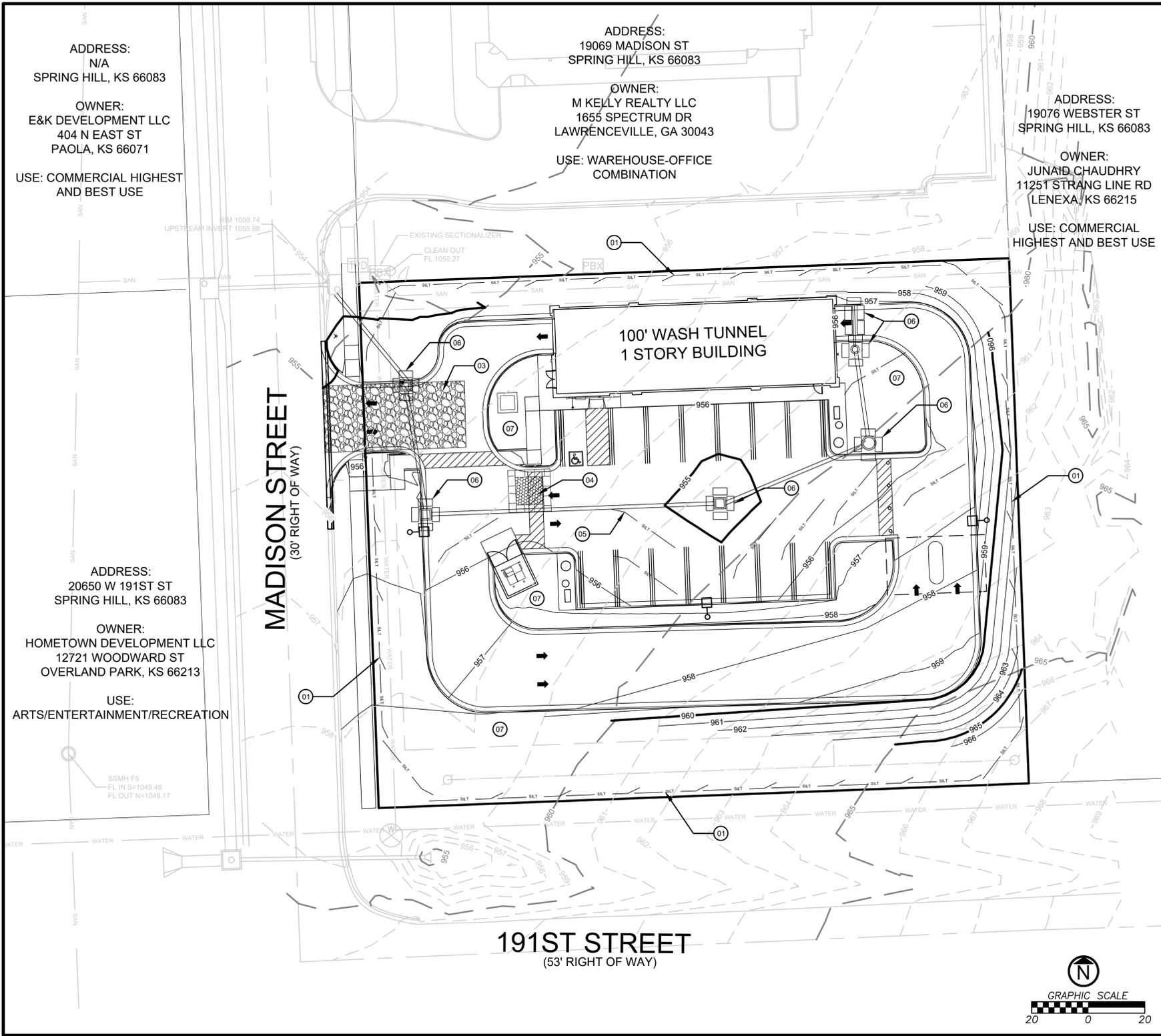
CIVIL IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

PLAN AND PROFILE

C7.0

EROSION CONTROL PLAN



ADDRESS:
N/A
SPRING HILL, KS 66083

OWNER:
E&K DEVELOPMENT LLC
404 N EAST ST
PAOLA, KS 66071

USE: COMMERCIAL HIGHEST
AND BEST USE

ADDRESS:
19069 MADISON ST
SPRING HILL, KS 66083

OWNER:
M KELLY REALTY LLC
1655 SPECTRUM DR
LAWRENCEVILLE, GA 30043

USE: WAREHOUSE-OFFICE
COMBINATION

ADDRESS:
19076 WEBSTER ST
SPRING HILL, KS 66083

OWNER:
JUNAID CHAUDHRY
11251 STRANG LINE RD
LENEXA, KS 66215

USE: COMMERCIAL
HIGHEST AND BEST USE

ADDRESS:
20650 W 191ST ST
SPRING HILL, KS 66083

OWNER:
HOMETOWN DEVELOPMENT LLC
12721 WOODWARD ST
OVERLAND PARK, KS 66213

USE:
ARTS/ENTERTAINMENT/RECREATION

191ST STREET
(53' RIGHT OF WAY)

MADISON STREET
(30' RIGHT OF WAY)



EROSION CONTROL NOTES

1. PRIOR TO LAND DISTURBANCE ACTIVITIES, THE FOLLOWING SHALL OCCUR:
 - 1.1. DELINEATE THE OUTER LIMITS OF ANY NATURAL STREAM CORRIDOR DESIGNATED IN ACCORDANCE WITH LOCAL STANDARDS WITH CONSTRUCTION FENCING.
 - 1.2. IDENTIFY THE LIMITS OF CONSTRUCTION ON THE GROUND WITH EASILY RECOGNIZABLE INDICATIONS SUCH AS CONSTRUCTION STAKING, CONSTRUCTION FENCING AND PLACEMENT OF PHYSICAL BARRIERS OR OTHER MEANS ACCEPTABLE TO THE INSPECTOR AND IN CONFORMANCE WITH THE EROSION AND POLLUTION CONTROL PLANS:
 - 1.2.1. CONSTRUCT A STABILIZED ENTRANCE/PARKING/STAGING AREA
 - 1.2.2. INSTALL PERIMETER CONTROLS AND PROTECT AND EXISTING STORMWATER INLETS
 - 1.3. THE SITE SHALL COMPLY WITH ALL REQUIREMENTS OF THE KDOT TEMPORARY EROSION CONTROL MANUAL AND NPDES STORMWATER RUNOFF FORM CONSTRUCTION SITES GENERAL PERMIT.
 - 1.4. IMMEDIATE INITIATION OF TEMPORARY STABILIZATION BMPs ON DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON THAT PORTION OF THE PROJECT SITE IF CONSTRUCTION ACTIVITIES WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. TEMPORARY STABILIZATION MAY INCLUDE ESTABLISHMENT OF VEGETATION, GEOTEXTILES, MULCHES OR OTHER TECHNIQUES TO REDUCE OR ELIMINATE EROSION UNTIL EITHER FINAL STABILIZATION CAN BE ACHIEVED OR UNTIL FURTHER CONSTRUCTION ACTIVITIES TAKE PLACE TO RE-DISTURB THE AREA. THIS STABILIZATION MUST BE COMPLETED WITHIN 14 CALENDAR DAYS.
 - 1.5. THE EROSION AND POLLUTION CONTROL PLAN SHALL BE ROUTINELY UPDATED TO SHALL ALL MODIFICATIONS AND AMENDMENTS TO THE ORIGINAL PLAN. A COPY OF THE EROSIONS AND POLLUTION CONTROL PLAN SHALL BE KEPT ON SITE AND MADE AVAILABLE FOR REVIEW BY THE REGULATORY AUTHORITY.
2. UNLESS OTHERWISE NOTED ON THE PLANS, ALL SEEDING MUST CONFORM TO KDOT TEMPORARY EROSION CONTROL MANUAL. TEMPORARY SEEDING SHALL ONLY BE USED FOR PERIODS NOT TO EXCEED 12 MONTHS. FOR FINAL STABILIZATION, TEMPORARY SEEDING SHALL ONLY BE USED TO ESTABLISH VEGETATION OUTSIDE THE PERMANENT SEEDING OR SODDING DATES AS SPECIFIED IN THE STANDARD SPECIFICATIONS. FINAL STABILIZATION REQUIRES A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY O 70% OVER 100% OF DISTURBED AREA.
3. EROSION AND POLLUTION CONTROL SHALL BE PROVIDED FOR THE DURATION OF THE PROJECT. ALL INSTALLED EROSION AND POLLUTION CONTROL BMPs SHALL BE MAINTAINED IN A MANNER THAT PRESERVES THEIR EFFECTIVENESS. IF THE COUNTY DETERMINES THAT THE BMPs IN PLACE DO NOT PROVIDE ADEQUATE EROSION AND POLLUTION CONTROL AT ANY TIME DURING THE PROJECT, ADDITIONAL OR ALTERNATE MEASURES THAT PROVIDE EFFECTIVE CONTROL SHALL BE REQUIRED.
4. CONCRETE WASH OR RINSEWATER FROM CONCRETE MIXING EQUIPMENT, TOOLS AND/OR READY-MIX TRUCKS, ETC. MAY NOT BE DISCHARGED INTO OR BE ALLOWED TO RUN TO ANY EXISTING WATER BODY OR PORTION OF THE STORMWATER SYSTEM. ONE OR MORE LOCATION FOR CONCRETE WASHOUT WILL BE DESIGNATED ON SITE, SUCH THAT DISCHARGES DURING CONCRETE WASHOUT WILL BE CONTAINED IN A SMALL AREA WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE. PROPER SIGNAGE WILL BE INSTALLED TO DIRECT USERS TO CONCRETE WASHOUT.
5. WORK IN OR NEAR WATER BODIES SHALL LIMIT DISTURBANCE AREA AND DURATION OF DISTURBANCE AS DESCRIBED IN THE COUNTY STANDARDS.
6. POLLUTION OF STREAMS, LAKES, WETLANDS, DRAINAGE WAYS OR STORM SEWERS FROM FUEL, OILS, HAZARDOUS CHEMICALS, SEDIMENT, TRASH, DEBRIS, OR OTHER SUBSTANCES RESULTING FROM CONSTRUCTION ACTIVITIES SHALL NOT BE ALLOWED. ALL SPILLS IN EXCESS OF REPORTABLE QUANTITIES SHALL BE REPORTED TO AL OF THE FOLLOWING WITHIN 24 HOURS OF THEIR OCCURRENCE:
 IDEM 24-HOUR SPILL RESPONSE CENTER - (888) 233-7745
 KDHE KANSAS SPILL HOTLINE - 1-785-291-3333
 NATIONAL SPILL RESPONSE CENTER - 1-800-424-8802
7. SPILLS THAT POSE IMMEDIATE THREAT TO PUBLIC SAFETY OR CONTAMINATION OF A WATER BODY SHALL BE REPORTED IMMEDIATELY TO THE LOCAL FIRE DEPARTMENT AT 911. SUCH SPILLS SHALL ALSO BE REPORTED TO THE IDEM EMERGENCY RESPONSE SECTION 888-233-7745
8. SILT FENCES AND SEDIMENT CONTROL BMPs WHICH ARE SHOWN ALONG THE BACK OF CURB MUST BE INSTALLED WITHIN TWO WEEKS OF CURB BACKFILL AND PRIOR TO PLACEMENT OF BASE ASPHALT. EXACT LOCATIONS OF THESE EROSION CONTROL METHODS MAY BE FIELD ADJUSTED TO MINIMIZE CONFLICTS WITH UTILITY CONSTRUCTION. HOWEVER, ANTICIPATED DISTURBANCE BY UTILITY CONSTRUCTION SHALL NOT DELAY INSTALLATION.
9. REQUIRED SEDIMENT BASINS AND TRAPS SHALL BE INSTALLED AS EARLY AS POSSIBLE DURING MASS GRADING AS INDICATED IN THE STAGING CHART. SEDIMENT BASINS AND TRAPS SHALL BE CLEANED OUT WHEN THE SEDIMENT CAPACITY HAS BEEN REDUCED BY 20% OF ITS ORIGINAL DESIGN VOLUME.
10. ALL MANUFACTURED BMPs SUCH AS EROSION CONTROL BLANKETS, TRMS, BIODEGRADABLE LOGS, FILTER SOCKS, SYNTHETIC SEDIMENT BARRIERS AND HYDRAULIC EROSION CONTROL SHALL BE INSTALLED AS DIRECTED BY MANUFACTURER.
11. THE ABOVE REQUIREMENTS ARE THE RESPONSIBILITY OF THE PERMITTEE FOR THE SITE.

EROSION AND SEDIMENT CONTROL STAGING CHART

PROJECT STAGE	BMP REF	BMP DESCRIPTION	NOTES
STAGE 1: PLACE PRIOR TO LAND DISTURBANCE	01	PERIMETER SILT FENCE/FILTER BAG	PLACE AS SHOWN
	02	EXISTING STORM INLET PROTECTION	PLACE AS SHOWN
	03	CONSTRUCTION ENTRANCE	PLACE AS SHOWN
	04	CONCRETE WASH OUT	PLACE AS SHOWN
STAGE 2: PLACE AFTER DEMO, CLEARING AND GRUBBING	05	INTERIOR SILT FENCE	PLACE AS NEEDED
STAGE 3: AFTER STORM SYSTEM	06	INLET PROTECTION FOR NEW INLETS	PLACE AS SHOWN
STAGE 4: AFTER PAVEMENT PLACEMENT	07	FINAL SEEDING, SOD AND LANDSCAPE	PLACE AS SHOWN
POST CONSTRUCTION BMP PLACEMENT			

DETAILS

SEE SHEET C8.1 FOR DETAILS FOR THE FOLLOWING:

- 101 TEMPORARY CONSTRUCTION ENTRANCE
- 102 SILT FENCE
- 103 CONCRETE WASHOUT
- 104 ROCK BAG INLET PROTECTION

GRADING LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED 5' CONTOUR
- PROPOSED 1' CONTOUR
- ██████ TEMPORARY CONSTRUCTION ENTRANCE
- ██████ CONCRETE WASHOUT
- SILT FENCE
- ⊕ INLET PROTECTION



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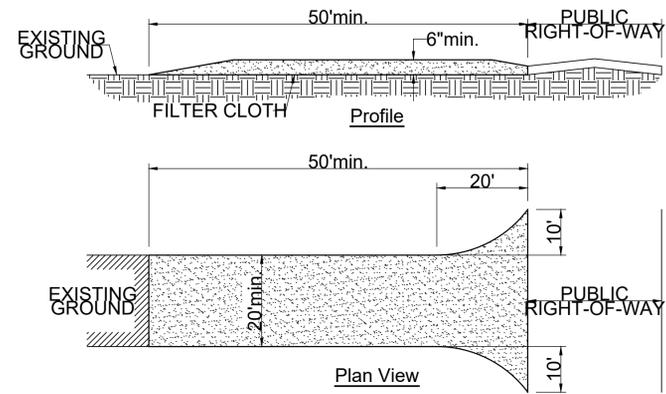
REV	DESCRIPTION	DATE

**SPRING HILL
CARWASH**

11/25/2025
CIVIL
IMPROVEMENTS

19085 MADISON ST
SPRING HILL, KS
66083

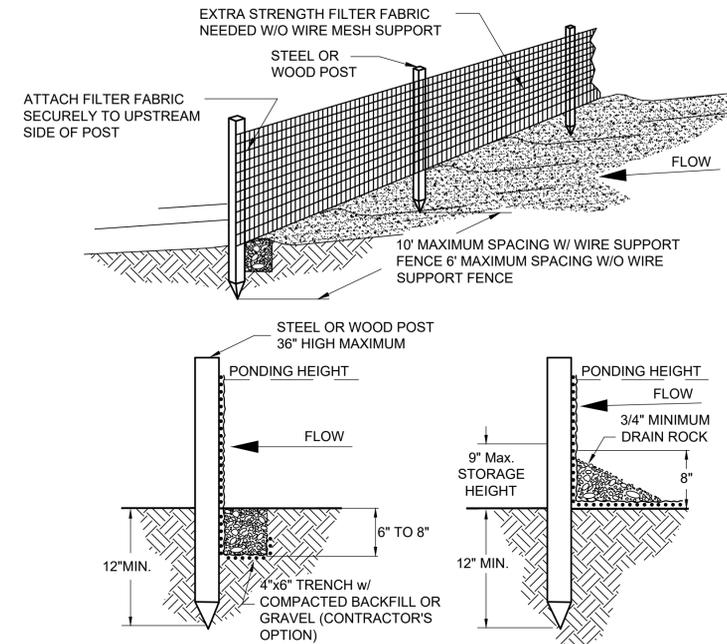
**EROSION
CONTROL PLAN
C8.0**



Construction Specifications:

1. STONE SIZE - Use (2) inch stone, or reclaimed or recycled equivalent.
2. LENGTH - As required, but not less than (50) feet.
3. THICKNESS - Not less than six (6) inches.
4. WIDTH - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. FILTER CLOTH - Will be placed over the entire area prior to placing of stone.
6. SURFACE WATER - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 3:1 slopes will be permitted.
7. MAINTENANCE - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
8. WASHING - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection as needed maintenance shall be provided after each rain.

Not to Scale



TRENCH DETAIL

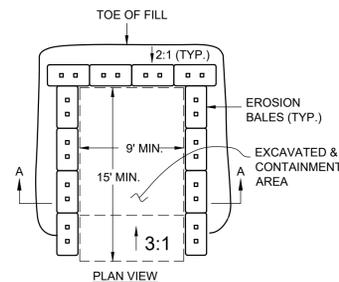
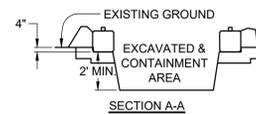
INSTALLATION w/o TRENCHING

- NOTES:**
1. MUST BE INSTALLED PROPERLY TO AVOID NOTICE OF VIOLATION.
 2. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 3. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9' MAXIMUM RECOMMENDED STORAGE HEIGHT.
 4. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Not to Scale

101

TEMPORARY CONSTRUCTION ENTRANCE



NOTES:

1. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATER COURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING
2. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
3. TEMPORARY CONCRETE WASHOUTS FACILITIES SHOULD BE CONSTRUCTED ABOVE GRADE OR BELOW GRADE AT THE OPTION OF THE CONTRACTOR. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
4. TEMPORARY WASHOUT FACILITIES SHOULD HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES.
5. WASHOUT OF CONCRETE TRUCKS SHOULD BE PERFORMED IN DESIGNATED AREAS ONLY
6. ONLY CONCRETE FORM MIXER TRUCK CHUTES SHOULD BE WASHING INTO CONCRETE WASHOUT.
7. CONCRETE WASHOUT FROM CONCRETE PUMPER BINS CAN BE WASHED INTO CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
8. ONCE CONCRETE WASTES AREA WASHED INTO THE DESIGNATED AREA AN ALLOWED TO HARDEN, THE CONCRETE SHOULD BE BROKEN UP, REMOVED, AND DISPOSED OF OFFSITE IN A LEGAL MANNER. DISPOSE OF HARDENED CONCRETE ON A REGULAR BASIS.

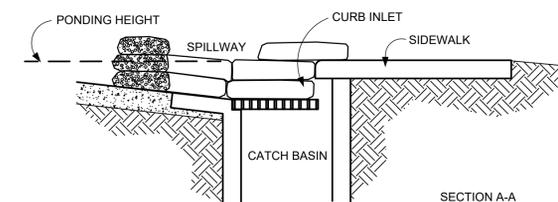
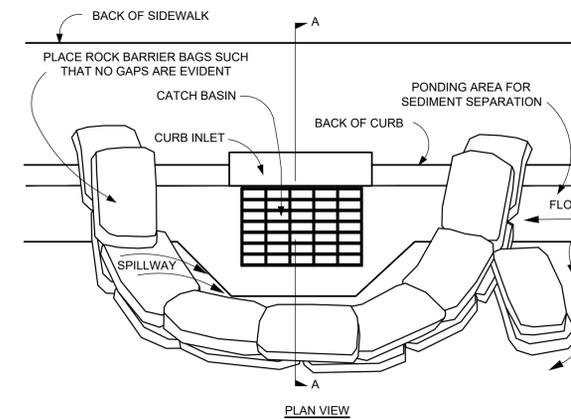
Not to Scale

103

CONCRETE WASHOUT

102

SILT FENCE



NOTES:

1. PLACE CURB TYPE ROCK BAG BARRIER ON GENTLY SLOPING STREET, WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNNOFF.
2. BAGS OF WOVEN GEOTEXTILE FABRIC, FILLED WITH GRAVEL MUST BE LAYERED SUCH THAT NO GAPS ARE EVIDENT.
3. LEAVE ONE SANDBAG GAP IN THE TOP ROW ON THE SIDE AWAY FROM FLOW, TO PROVIDE A SPILLWAY; OR IN THE CENTER IF PONDING IS NEEDED ON BOTH SIDES.
4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

Not to Scale

104

ROCK BAG INLET PROTECTION



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REV	DESCRIPTION	DATE

SPRING HILL CARWASH

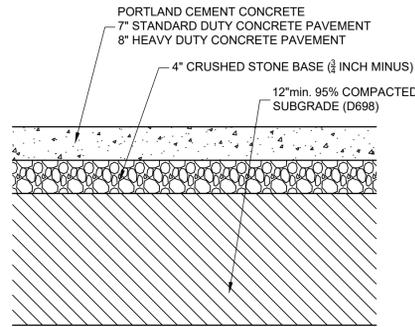
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CIVIL IMPROVEMENTS

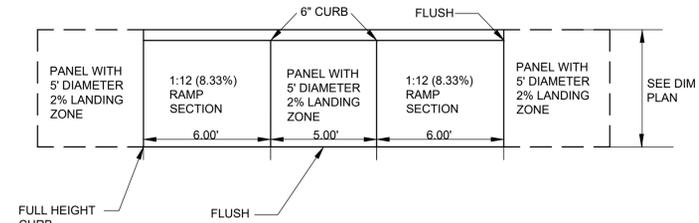
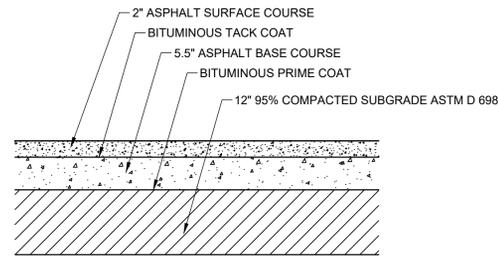
19085 MADISON ST
SPRING HILL, KS
66083

EROSION CONTROL DETAILS C8.1

- NOTES:**
- CONTROL JOINT SPACING SHALL BE PLACED AT MAXIMUM 24 TIMES THE THICKNESS OF THE CONCRETE PAVEMENTS. SEE JOINTING PLAN IF PROVIDED.
 - ISOLATION JOINTS SHALL BE PLACED WHERE CONCRETE ABUTS PREVIOUS Poured CONCRETE OR CONCRETE STRUCTURES.
 - ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH.
 - MIX DESIGN TO MEET LOCAL REQUIREMENTS. IN ABSENCE OF LOCAL SPECIFICATION CONTRACTOR SHALL USE APPLICABLE DOT MIX. SUMP TO BE MAXIMUM 4" AND MINIMUM 5%-7% AIR ENTRAINED FOR PAVEMENT AREAS. CONTRACTOR TO SUBMIT MIX DESIGN FOR ENGINEER'S APPROVAL.
 - SUBGRADE TO BE MOISTURE CONDITIONED AND COMPACTED TO 95% PER ASTM D698
 - ALL JOINTS ALONG THE ACCESSIBLE ROUTE SHALL BE OF A WIDTH TO NOT EXCEED 1/2"
 - CONCRETE PAVEMENT CONSTRUCTION SHALL ONLY COMMENCE WHEN AMBIENT TEMPERATURE IS 34 DEGREES FAHRENHEIT AND RISING. COLD WEATHER PROCEDURES MAY BE UTILIZED FOR CONCRETE INSTALLATIONS WHEN TEMPERATURES ARE NOT SUITABLE FOR CONVENTIONAL PLACEMENT.
 - CONTRACTOR OPTION TO POUR CURB ADJACENT TO CONCRETE PARKING SURFACE AS INTEGRAL



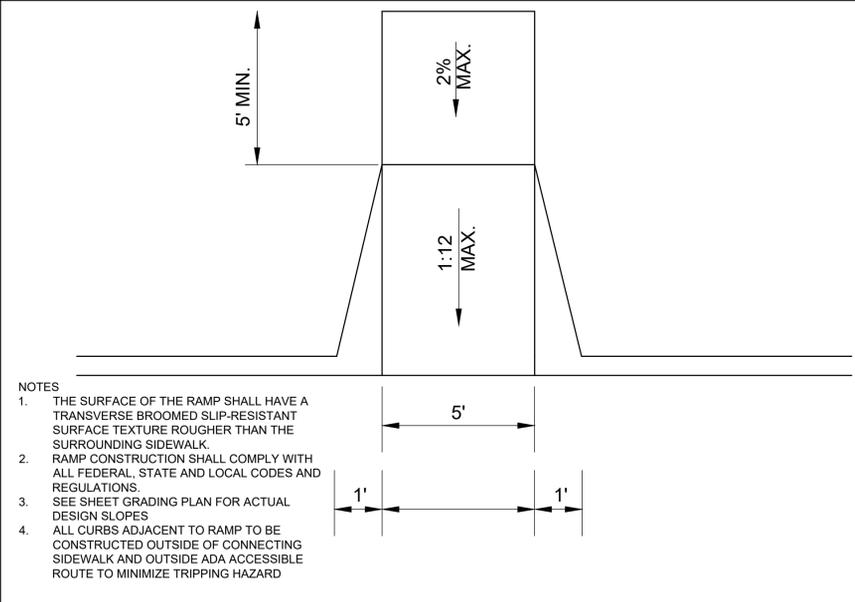
- NOTES:**
- SHOP DRAWINGS FOR ASPHALT SHALL BE SUBMITTED PRIOR TO BATCHING. DENSITY TESTING FOR ASPHALT SHALL BE AT A MINIMUM OF 3 PER LIFT PER DAY DURING THE ASPHALT LAYING OPERATION. FINAL THICKNESS OF ASPHALT SHALL BE MEASURED AT 3 RANDOM LOCATIONS WITHIN THE SITE BY CORING THE PAVEMENT. THE AVERAGE OF THESE THREE CORES MUST BE GREATER THAN THE MINIMUM THICKNESS SPECIFIED IN THE PLANS.
 - ASPHALT PAVEMENT CONSTRUCTION SHALL ONLY COMMENCE WHEN AMBIENT TEMPERATURE IS 34 DEGREES FAHRENHEIT AND RISING
 - THICKNESS SHOWN IS MINIMUM
 - MIX DESIGN TO BE SUBMITTED TO ENGINEER FOR REVIEW.



- NOTES:**
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
 - SEE SHEET GRADING PLAN FOR ACTUAL DESIGN SLOPES
 - ALL CURBS ADJACENT TO RAMP TO BE CONSTRUCTED OUTSIDE OF CONNECTING SIDEWALK AND OUTSIDE ADA ACCESSIBLE ROUTE TO MINIMIZE TRIPPING HAZARD

001 CONCRETE PAVEMENT SECTION

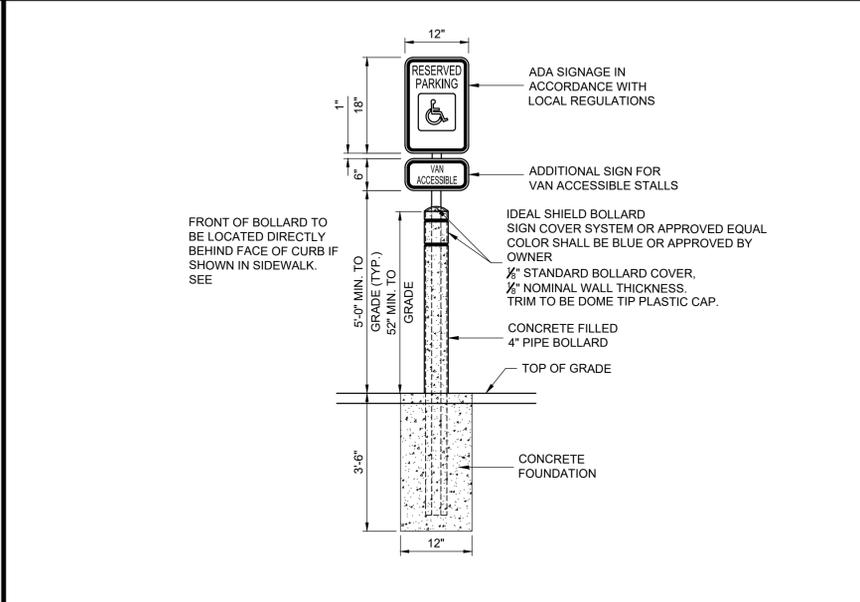
NTS



- NOTES:**
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 - RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
 - SEE SHEET GRADING PLAN FOR ACTUAL DESIGN SLOPES
 - ALL CURBS ADJACENT TO RAMP TO BE CONSTRUCTED OUTSIDE OF CONNECTING SIDEWALK AND OUTSIDE ADA ACCESSIBLE ROUTE TO MINIMIZE TRIPPING HAZARD

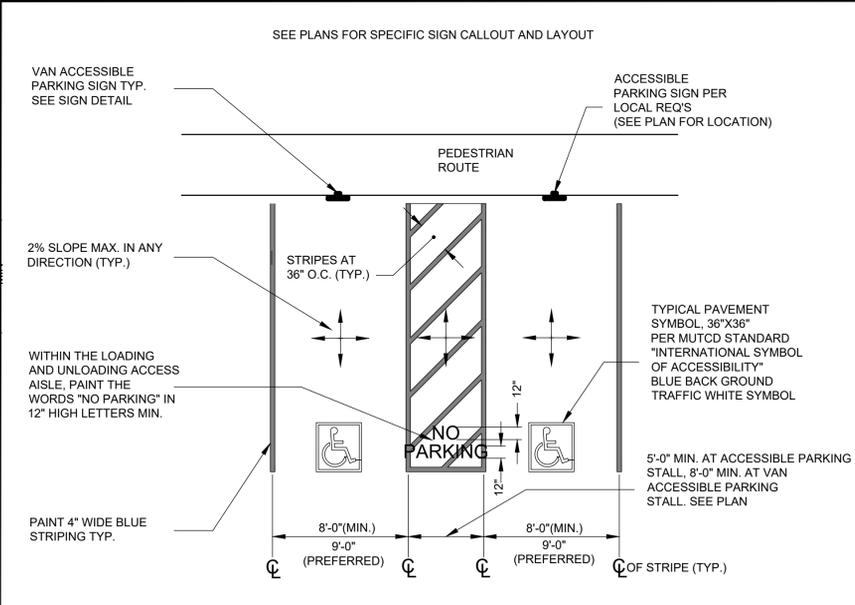
002 ASPHALT SECTION

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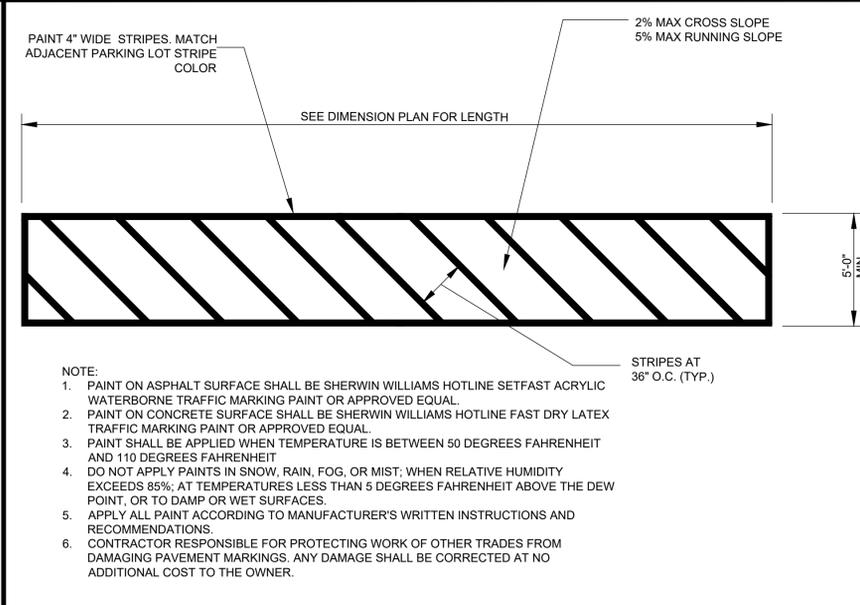
004 ADA SIGN

NTS



005 ADA SIGN

NTS



- NOTE:**
- PAINT ON ASPHALT SURFACE SHALL BE SHERWIN WILLIAMS HOTLINE SETFAST ACRYLIC WATERBORNE TRAFFIC MARKING PAINT OR APPROVED EQUAL.
 - PAINT ON CONCRETE SURFACE SHALL BE SHERWIN WILLIAMS HOTLINE FAST DRY LATEX TRAFFIC MARKING PAINT OR APPROVED EQUAL.
 - PAINT SHALL BE APPLIED WHEN TEMPERATURE IS BETWEEN 50 DEGREES FAHRENHEIT AND 110 DEGREES FAHRENHEIT
 - DO NOT APPLY PAINTS IN SNOW, RAIN, FOG, OR MIST. WHEN RELATIVE HUMIDITY EXCEEDS 85%. AT TEMPERATURES LESS THAN 5 DEGREES FAHRENHEIT ABOVE THE DEW POINT, OR TO DAMP OR WET SURFACES.
 - APPLY ALL PAINT ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
 - CONTRACTOR RESPONSIBLE FOR PROTECTING WORK OF OTHER TRADES FROM DAMAGING PAVEMENT MARKINGS. ANY DAMAGE SHALL BE CORRECTED AT NO ADDITIONAL COST TO THE OWNER.

006 ADA PAVEMENT MARKINGS

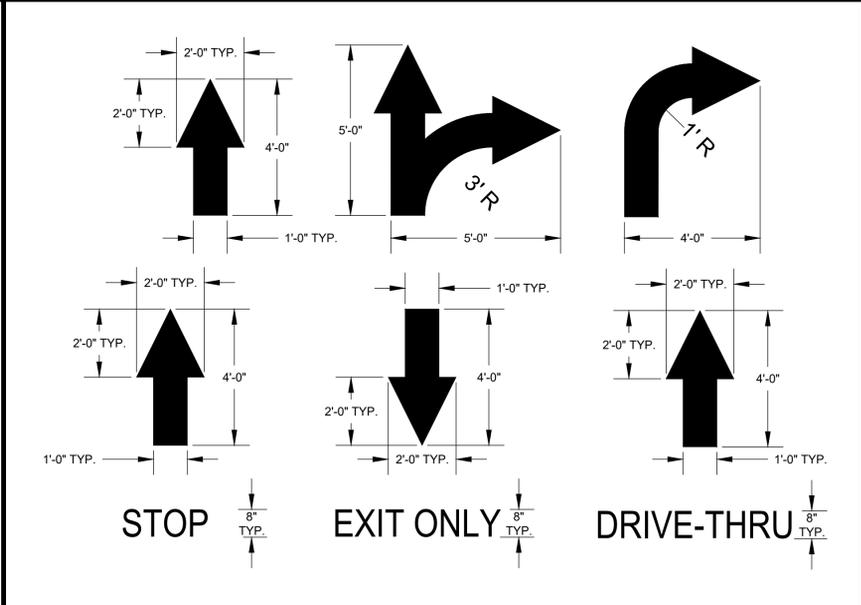
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007 CROSSWALK STRIPING

NTS

003 ADA RAMP TYPE 1

NTS



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REV	DESCRIPTION	DATE

SPRING HILL CARWASH

11/25/2025
 CIVIL IMPROVEMENTS

19085 MADISON ST
 SPRING HILL, KS
 66083

CIVIL DETAILS

C9.0

Drawings and/or Specifications are original proprietary work and property of the Architect intended for the specifically titled project. Use of items contained herein without consent of Architect for titled or other projects is prohibited. Drawings illustrate best information available to Architect. Field verification of actual elements, conditions, and dimensions is required.



ADA Compliance Certification
To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

David Eskov

PERMIT
SEPTEMBER 29, 2025

Revisions

CAR WASH
GENTLE TOUCH CAR WASH
19085 MADISON ST
SPRING HILL, KANSAS 66083

sheet
L1.0
LANDSCAPE PLAN

LANDSCAPE SCHEDULE

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE (MIN)	QTY
	BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS	3 GAL	42
	JAPANESE YEW	TAXUS CUSPIDATA	3 GAL	32
	IVORY SILK JAPANESE TREE LILAC	SYRINGA RETICULATA 'IVORY SILK'	1.5' CAL	2
	HILLSPIRE JUNIPER	JUNIPERUS VIRGINIA 'HILLSPIRE'	6' HIGH	3
	RED POINTE RED MAPLE	ACER RUBRUM 'RED POINTE'	2.5' CAL	8
	ROCK W/ STEEL EDGING, TYP			

GENERAL LANDSCAPING NOTES:

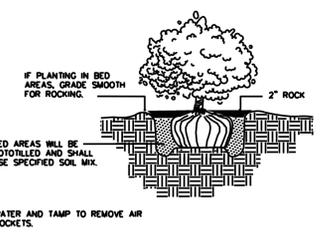
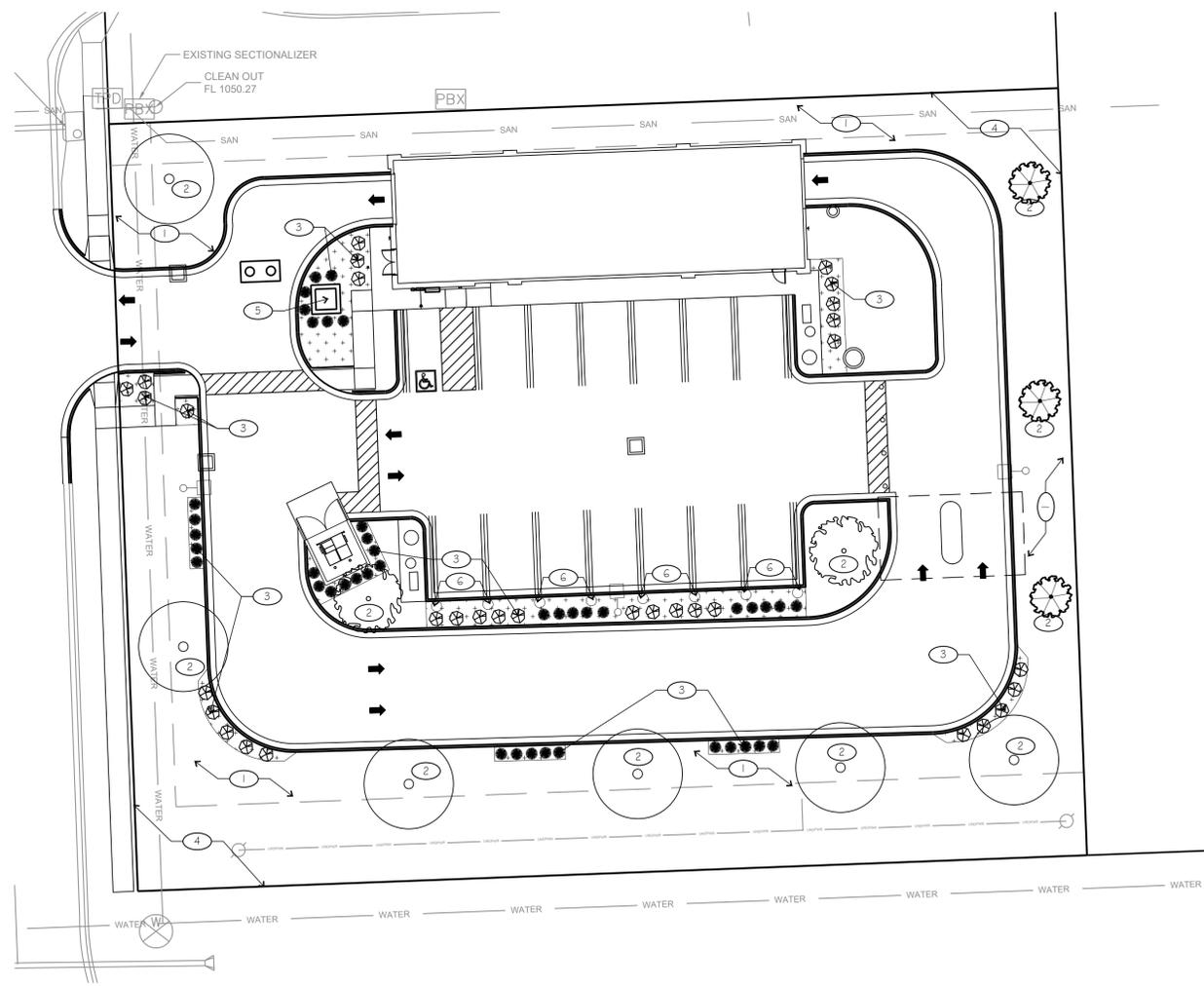
- PROVIDE NURSERY'S STANDARD ONE YEAR WARRANTY ON ALL MATERIALS.
- ALL TREE WELLS & SHRUB BEDS TO RECEIVE AN INITIAL PRE-EMERGENT, AND SHALL RECEIVE 3" OF RIVER ROCK.
- (DARK BROWN) ROCK TO BE 3" THICKNESS. ELEVATION OF (DARK BROWN) ROCK SHALL BE " BELOW CONCRETE CURBS. 12" BELOW CONCRETE CURBS.
- ANY TREES INSTALLED WITHIN 6' OF A SIDEWALK OR CURB SHALL INCLUDE ROOT BARRIER MATERIALS INSTALLED AT THE TIME OF TREE PLANTING.
- SEPERATE TURF AND ROCK AREAS WITH STANDARD COMMERCIAL STEEL EDGING AS APPROVED BY ARCHITECT.
- CONTRACTOR SHALL IMMEDIATELY WATER ALL PLANT MATERIALS FOLLOWING PLANTING, AND CONTINUE WATERING & MAINTENANCE UNTIL OWNER ACCEPTANCE.
- ALL PLANTING MATERIALS SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION, AND TRUE TO THE TYPE, CULTIVAR, SIZE, COLOR AS SPECIFIED. SUBSTITUTIONS SHALL BE APPROVED BY ARCHITECT. INSTALLATION SHALL FOLLOW SOUND PROFESSIONAL PLANTING PROCEDURES, LAID OUT IN A UNIFORM AND CONSISTENT PATTERN, AND TRUE TO THE LANDSCAPE PLAN.
- ALL LAND AREA WHICH IS NOT PAVED OR COVERED BY BUILDINGS MUST BE BROUGHT TO FINISHED GRADE AND PLANTED WITH TURF OR OTHER APPROPRIATE GROUND COVERS.
- AT LEAST 1/3 OF THE PLANTINGS MUST BE EVERGREEN SPECIES.
- THE DEVELOPER, ITS SUCCESSOR AND/OR SUBSEQUENT OWNERS, AND THEIR AGENTS MAINTAIN LANDSCAPING ON THE PROPERTY ON A CONTINUING BASIS FOR THE LIFE OF THE DEVELOPMENT.
- PLANT MATERIALS WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE, AND/OR DAMAGE MUST BE PROMPTLY REMOVED & REPLACED.
- THE PROPERTY OWNER WILL MAINTAIN LANDSCAPE AREAS IN GOOD CONDITIONS, AND IN A WAY THAT PRESENTS A HEALTHY, NEAT, AND ORDERLY APPEARANCE. THIS MAINTENANCE MUST INCLUDE WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, ROCKING, OR OTHER MAINTENANCE, IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES.
- ALL EXTERIOR-MOUNTED AND ALL ROOFTOP BUILDING HVAC AND MECHANICAL EQUIPMENT, VENTS, PIPING, ROOF ACCESS LADDERS, AND UTILITY METERS MUST BE LOCATED OUT OF VIEW, OR OTHERWISE SCREENED FROM PUBLIC VIEW FROM ALL ADJACENT STREETS & RESIDENTIALLY DEVELOPED OR ZONED PROPERTIES. SCREENING MUST BE ACCOMPLISHED WITH LANDSCAPING, SCREEN WALLS, BUILDING ELEMENTS, OR A COMBINATION OF THESE METHODS.
- ALL GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT (INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, UTILITY METER BANKS, AND COOLERS) MUST BE SCREENED FROM PUBLIC VIEW WITH 3-SIDED LANDSCAPING OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.

CITY LANDSCAPE NOTES:

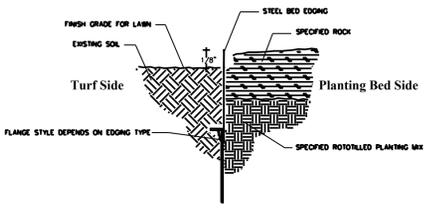
- Plant materials which exhibit evidence of insect pests, disease and/or damage must be appropriately treated. Dead plants must be promptly removed and replaced.
- All landscaping is subject to periodic inspection by the Planning Official or designee.
- The property owner will maintain landscape areas in good condition and in a way that presents a healthy, neat and orderly appearance. This maintenance must include weeding, watering, fertilizing, pruning, mowing, edging, ROCKING or other maintenance, in accordance with acceptable horticultural practices.
- The City may cause removal of any dead or diseased trees, plants and shrubs on private property within the City, when those trees, plants and shrubs constitute a potential threat to other trees, plants or shrubs within the City.
- No tree, shrub, or woody vegetation will be planted within a distance of 10 feet from any fire hydrant or fire department connection (FDC).
- No trees will be planted within 15 feet of a streetlight.

SITE PLAN KEY NOTES:

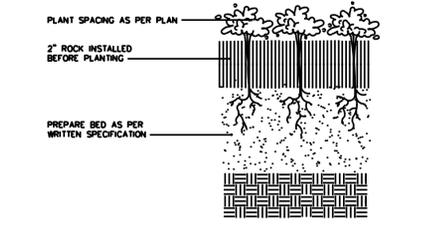
- SEED SHALL BE A TURF-TYPE-TALL FESCUE BLEND W/ 10% PERENNIAL RYE DRILL SEEDED AT A RATE OF 9#/1000 SF. AND HYDRO ROCKED AS A SEPARATE OPERATION AT A RATE OF 200#/ACRE OF VIRGIN WOOD FIBER. W. A DYED BLUE TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE FOR AN ACCEPTABLE STAND OF TURF GRASS OF AT LEAST 90% COVERAGE OF SOIL SURFACE PER SQFT. EROSION CONTROL BLANKET SHALL BE 5150BN BY NORTH AMERICAN GREEN OR APPROVED EQ INSTALLED PER MANUFACTURE.
- NEW TREE PER SCHEDULE AND DETAILS
- NEW SHRUBS IN RIVER ROCK BED W/ STEEL EDGING PER SCHEDULE AND DETAILS
- PROPERTY LINE
- TRANSFORMER
- VACUUM BASE



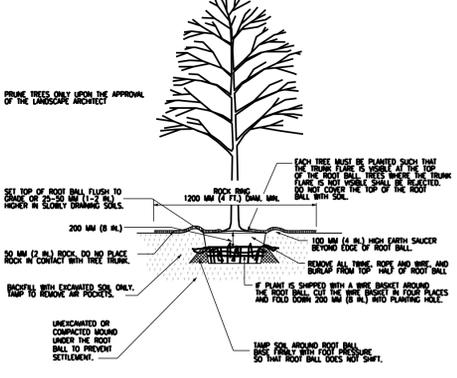
SHRUB PLANTING NO SCALE



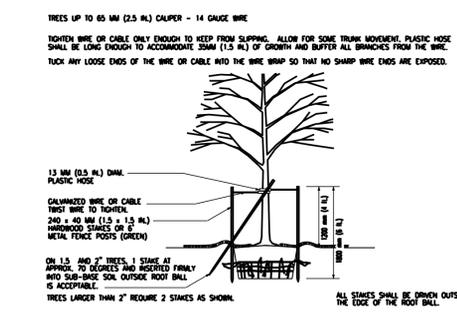
STEEL EDGING DETAIL NO SCALE



GROUNDCOVER OR PERENNIAL PLANTING DETAIL NO SCALE



TREE PLANTING DETAIL - B&B TREES NO SCALE



TREE STAKING DETAIL - TREES UP TO 3 INCH CALIPER NO SCALE

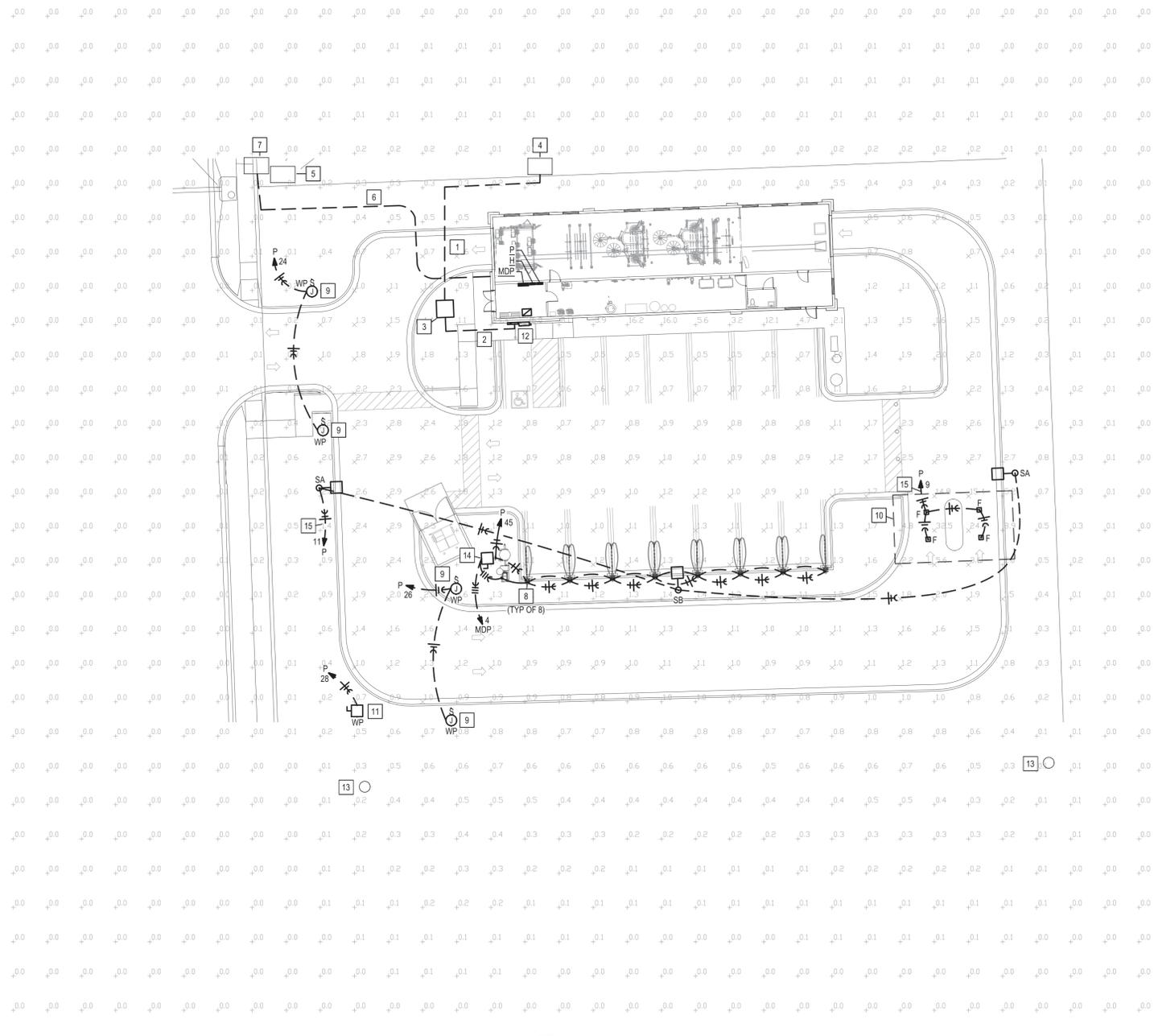


ELECTRICAL SITE PLAN NOTES

- 1 4" CONDUIT FOR ELECTRICAL PRIMARY.
- 2 ELECTRICAL SECONDARY, REFER TO RISER DIAGRAM ON SHEET E3.0.
- 3 PROPOSED LOCATION OF PAD MOUNTED UTILITY TRANSFORMER, REFER ALSO TO CIVIL DRAWINGS.
- 4 APPROXIMATE LOCATION OF EXISTING POWER BOX, COORDINATE FINAL CONNECTION WITH UTILITY PROVIDER.
- 5 APPROXIMATE LOCATION OF EXISTING SECTIONALIZER TO REMAIN.
- 6 4" TO PROPERTY LINE FOR BUILDING TELECOM SERVICE.
- 7 APPROXIMATE LOCATION OF EXISTING TELEPHONE PULL BOX, COORDINATE CONNECTION WITH SERVICE PROVIDER.
- 8 PROVIDE CONNECTION TO VACUUM MOTOR SYSTEM AND 120V/1Ø POWER FOR VACUUM ARCH SEPARATORS. MAKE FINAL CONNECTIONS PER MANUFACTURER'S INSTRUCTIONS. VERIFY EXACT LOCATIONS.
- 9 WEATHERPROOF JUNCTION BOX WITH DISCONNECTING MEANS FOR DIRECTIONAL SIGNAGE. COORDINATE QUANTITY AND LOCATIONS WITH ARCHITECT/CIVIL ENG. VERIFY ELECTRICAL REQUIREMENTS WITH SIGNAGE PROVIDER. MAKE CONNECTION PER MANUFACTURER'S INSTRUCTIONS. ROUTE TO CIRCUIT PANEL INDICATED VIA EXTERIOR LIGHTING CONTROLS. SEE DETAIL ON SHEET E1.0.
- 10 REFER TO ENLARGED PAY STATION POWER PLAN ON SHEET E2.0.
- 11 WEATHERPROOF DISCONNECT FOR MONUMENT/DIRECTIONAL SIGNAGE. COORDINATE LOCATION WITH ARCHITECT/CIVIL ENG. VERIFY ELECTRICAL REQUIREMENTS WITH SIGNAGE PROVIDER. ROUTE CIRCUIT TO PANEL INDICATED VIA LIGHTING CONTROLS. SEE DETAIL ON SHEET E1.0.
- 12 CT CABINET, METERING AND MAIN SERVICE DISCONNECT. REFER TO ELECTRICAL RISER DIAGRAM ON SHEET E3.0.
- 13 APPROXIMATE LOCATION OF EXISTING POWER POLES TO REMAIN.
- 14 PROVIDE WEATHERPROOF DISCONNECT OF VACUUM SYSTEM PER MANUFACTURER'S INSTRUCTIONS. VERIFY EXACT LOCATION AND ELECTRICAL REQUIREMENTS.
- 15 ROUTE CIRCUIT TO PANEL INDICATED VIA LIGHTING CONTROLS. SEE DETAIL ON SHEET E1.0.

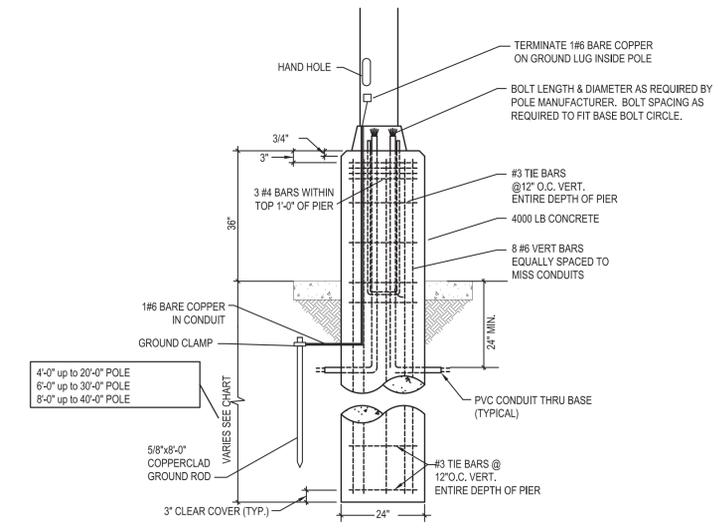
STATISTICS

Description	Avg	Max	Min	Max/Min	Avg/Min
Paved Surface	1.3	5.6	0.5	11.2/1	2.6/1
Excluding Canopies					



ALL SITE LIGHTING SHALL BE MINIMUM #10 WIRE THROUGHOUT CIRCUIT AS INDICATED ON HOME RUN AND RUN IN 1" CONDUIT.

ELECTRICAL POWER PLAN
SCALE: 1" = 20'-0"



POLE FOUNDATION DETAIL
SCALE: NONE

BC PROJECT #: 25350 MA/AW
KANSAS PE COA #E-359

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5720 Reeder Shawnee, KS 66203 (913)262-1772

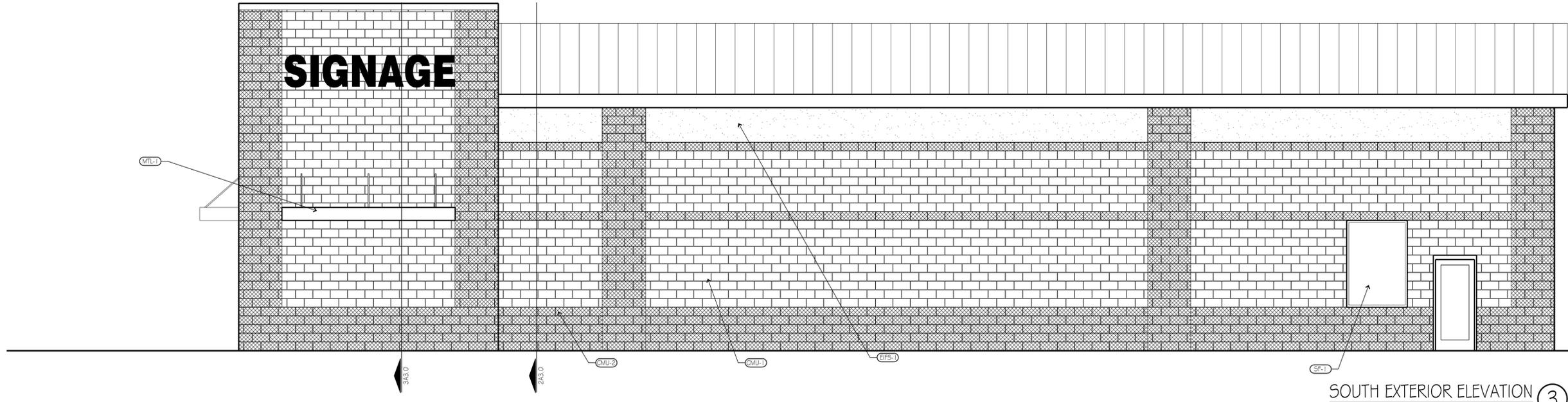
PERMIT
SEPT 25, 2025

Revisions

CAR WASH
GENTLE TOUCH CAR WASH
119085 MADISON ST
SPRING HILL, KANSAS 66083

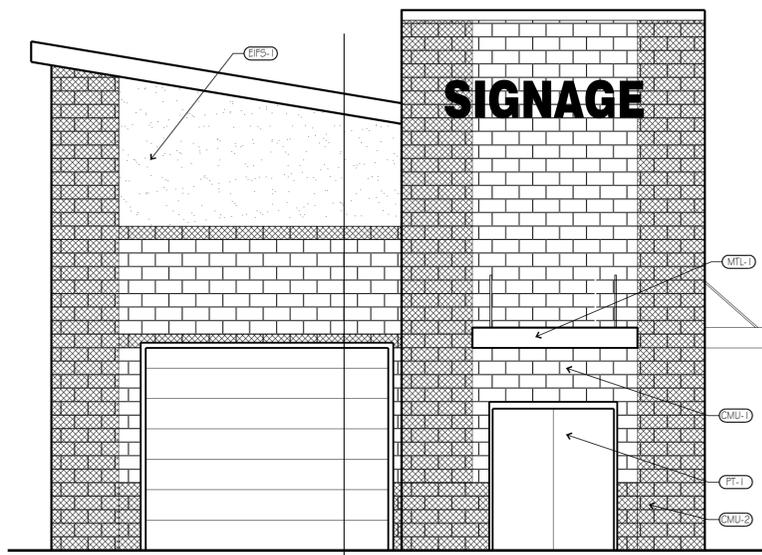
sheet
E4.0
ELECTRICAL SITE PLAN

SIGNAGE

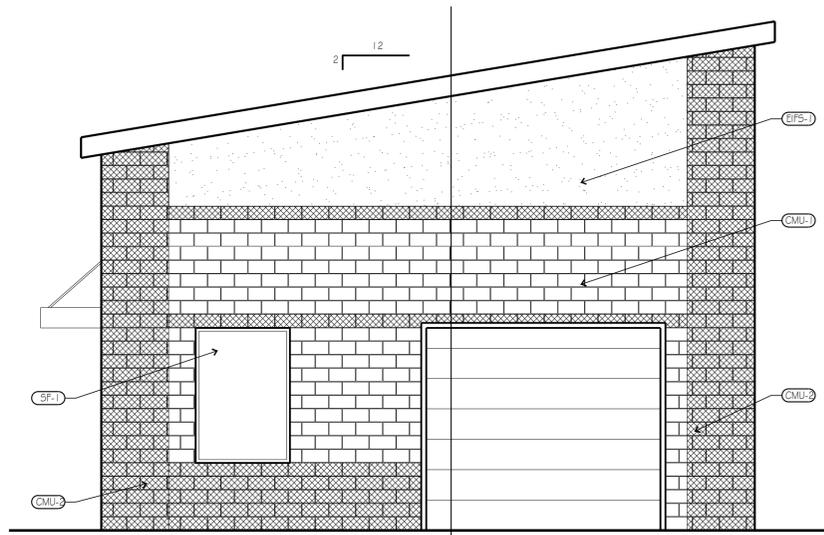


SOUTH EXTERIOR ELEVATION ③
SCALE: 1/8" = 1'-0"

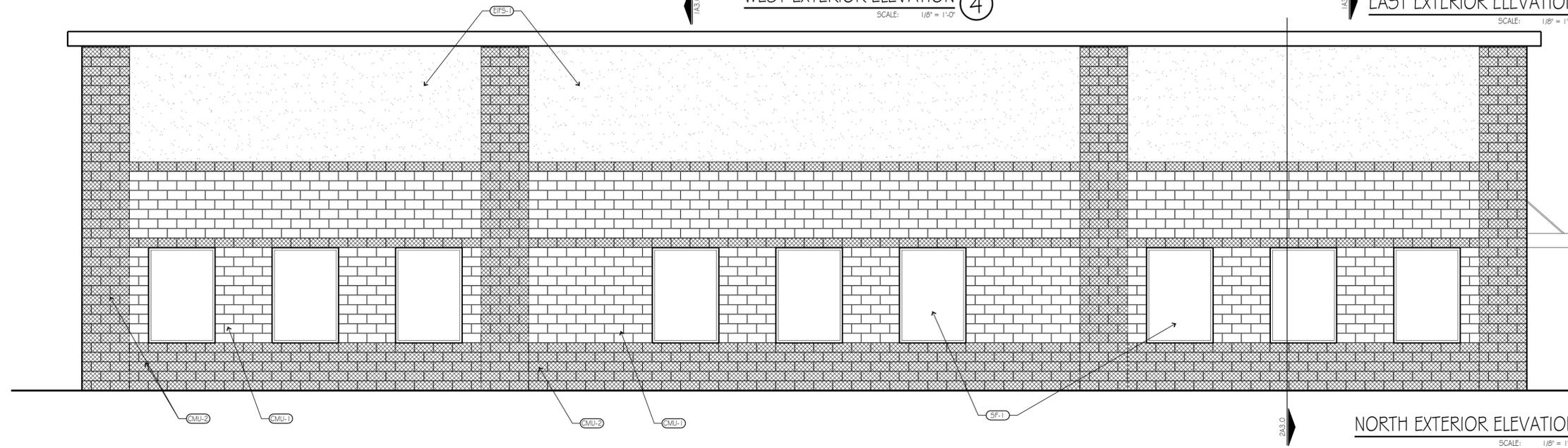
EXTERIOR FINISH LEGEND			
MARK	MATERIAL	COLOR	NOTES
PT-1	PAINT	TO MATCH EIFS-1	
MTL-1	METAL CANPY	BLACK	GENERAL AWNING CENTURY SERIES
SF-1	STOREFRONT	BLACK	
CMU-1	BURNISHED CMU BLOCK	GREY W/ GREY GROUT	
CMU-2	BURNISHED CMU BLOCK	BLACK W/ BLACK GROUT	
EIFS-1	EIFS	GREY (TBD)	



WEST EXTERIOR ELEVATION ④
SCALE: 1/8" = 1'-0"



EAST EXTERIOR ELEVATION ②
SCALE: 1/8" = 1'-0"



NORTH EXTERIOR ELEVATION ①
SCALE: 1/8" = 1'-0"

David Eskov
Architect
21466 w 120th st
Olathe, KS 66061
eskovarch@outlook.com
913-284-3660

Drawings and/or Specifications are original proprietary work and property of the Architect intended for the specifically titled project. Use of items contained herein without consent of Architect for titled or other projects is prohibited. Drawings illustrate best information available to Architect. Field verification of actual elements, conditions, and dimensions is required.



DATE SIGNED 09/29/25

ADA Compliance Certification
To best of my professional knowledge, the facility as indicated is in compliance with the Americans with Disabilities Act, including the current ADA Title III Design Guidelines.

David Eskov

PERMIT
SEPTEMBER 29, 2025

Revisions

CAR WASH
GENTLE TOUCH CAR WASH
19065 MADISON ST
SPRING HILL, KANSAS 66083

sheet
A2.0
EXTERIOR ELEVATIONS

Engineering Department

The proposed Spring Hill Car Wash is located in the northeast corner of 191st Street & Madison Street, on Lot 13 of the Country Meadows Industrial Park 4th Plat. The Site Plan submitted by Quick N Clean, Inc. includes one entrance off Madison Street, with circulation through the parking lot for customers. The configuration of the parking lot provides adequate queuing of the vehicles utilizing the car wash, with little impact to Madison and 191st Streets.

The stormwater will be collected on-site with the proposed curb & gutter, directed to the curb inlets located within the parking lot. The proposed private storm sewer will connect into the existing public storm system located along Madison Street.

The City's on-call engineer, Lamp Rynearson, provided the review of the Spring Hill Car Wash in a separate memo. They provided a comment letter that outlines the plan review comments necessary before a permit can be issued. The Engineering Department will review subsequent plans for compliance to the City's standards prior to permit issuance.

With the operation of a car wash, there will be additional requirements from KDHE to ensure that the industrial wastewater is handled properly. The City will request a copy of any permits issued by KDHE and supporting documentation associated with the Industrial Stormwater Permit.

The Engineering Department recommends approval of this application with the following stipulations:

1. Address the plan review comments as outlined by Lamp Rynearson. Engineering will review the plans for approval prior to issuance of a construction permit.
2. Prior to issuance of a permit, submit a copy of the Industrial Stormwater Pollution Prevention Plan outlining the long-term operations and maintenance of the car wash site.
3. Prior to issuance of a permit, provide a copy of the signed permit from KDHE approving the Industrial Stormwater Permit.
4. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.
5. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.

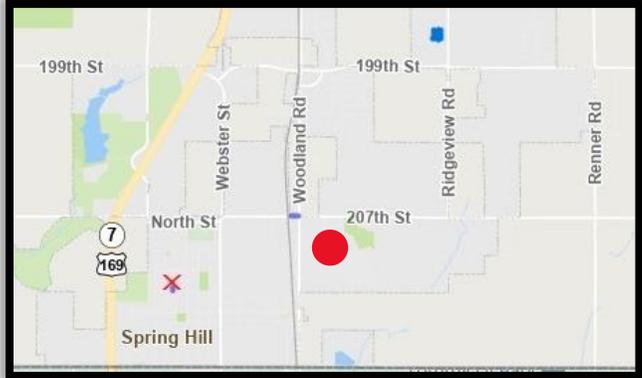
SPRING HILL

KANSAS

Planning Commission
 January 15, 2026

Woodland Ridge

Z-25-4 | PP-25-7 – Rezoning & Preliminary Plat
 R-1 & R-2 to RP-1



Application Information

Location:	SE Corner of 207 th St., and Woodland Road
Applicant:	Tim Tucker Phelps Engineering, Inc.
Engineer:	Same
Owner:	Caleb George

Project Information

Current Zoning:	R-1 – Single-Family R-2 – Two Family
Proposed Zoning:	RP-1 – Planned Single-Family
Land Area:	(+/-) 58.87 ac (+/-) 2,564,377 sq. ft.
# of Lots:	158 Single-family lots 2 Tracts

Executive Summary

The applicant, Tim Tucker of Phelps Engineering, Inc., on behalf of the owner, Caleb George, has submitted for approval a Rezoning and Preliminary Plat for a new residential subdivision comprised of 158 single-family lots located at the Southeast corner of 207th Street and Woodland Road.

The proposed rezoning from R-1 and R-2 to RP-1 is to enable the request for modifications from the Unified Zoning Ordinance. These modifications include reductions to minimum lot size, width, and setback requirements. All requested modifications are detailed along with supporting documentation and justifications within the attached Modification Request document.

Staff coordinated with the applicant to include additional sidewalk width, recreational and active open space amenities including trails and a soft playground, and landscaping throughout the active open spaces and along R/W to balance the proposed modifications with related public interest.

Accordingly, staff have determined that the application meets the goals of the Planned District as well as the Comprehensive Plan and recommends approval.

REZONING

Golden Factors

Pursuant to the findings of *Golden v. City of Overland Park*, 224 Kan. 591, 584 P. 2d 130 (1978), staff has conducted a review of the so-called “Golden Standards” as follows:

Neighborhood Character

The surrounding properties are developed with a mix of detached, single-family dwelling units on R-1 sized lots as well as large acreage rural residential properties to the north and south. Across Woodland to the west is a mix of light and medium-intensity industrial land uses.

The proposed sizing of single-family lots is compatible with the mixed-density residential character of the area east of Woodland Road.

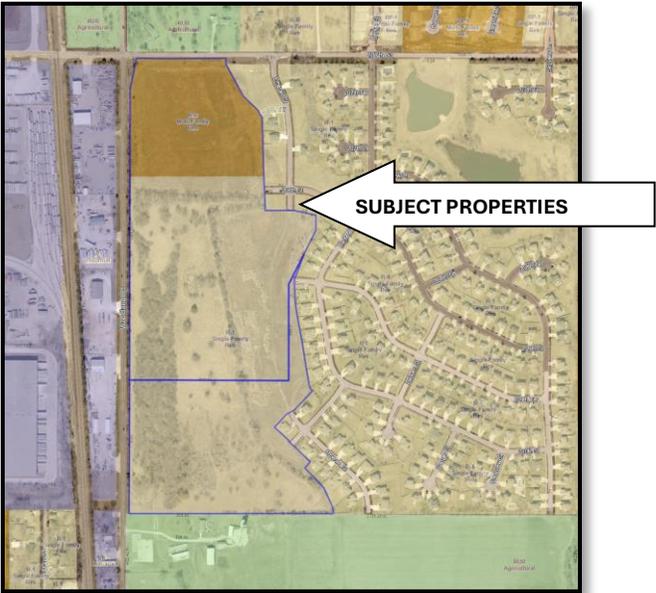
Adjacent Zoning

The subject property is abutted by R-1 zoning district to the east, county-zoned ‘RUR’ Rural, Agricultural to the south, M-1 General Industrial to the west across Woodland Road, and additional ‘RUR’ to the north across 207th Street.

The proposed zoning district of “RP-1” matches the low-intensity nature of the R-1 within the same quarter section and provides a suitable gradient of land use intensity between industrial across Webster Road and the base R-1 to the east.

Adjacent Zoning

North:	RUR (County) (Across 207 th St.)
East:	R-1
South:	RUR (County)
West:	M-1 (Across Woodland Rd.)



SPRING HILL

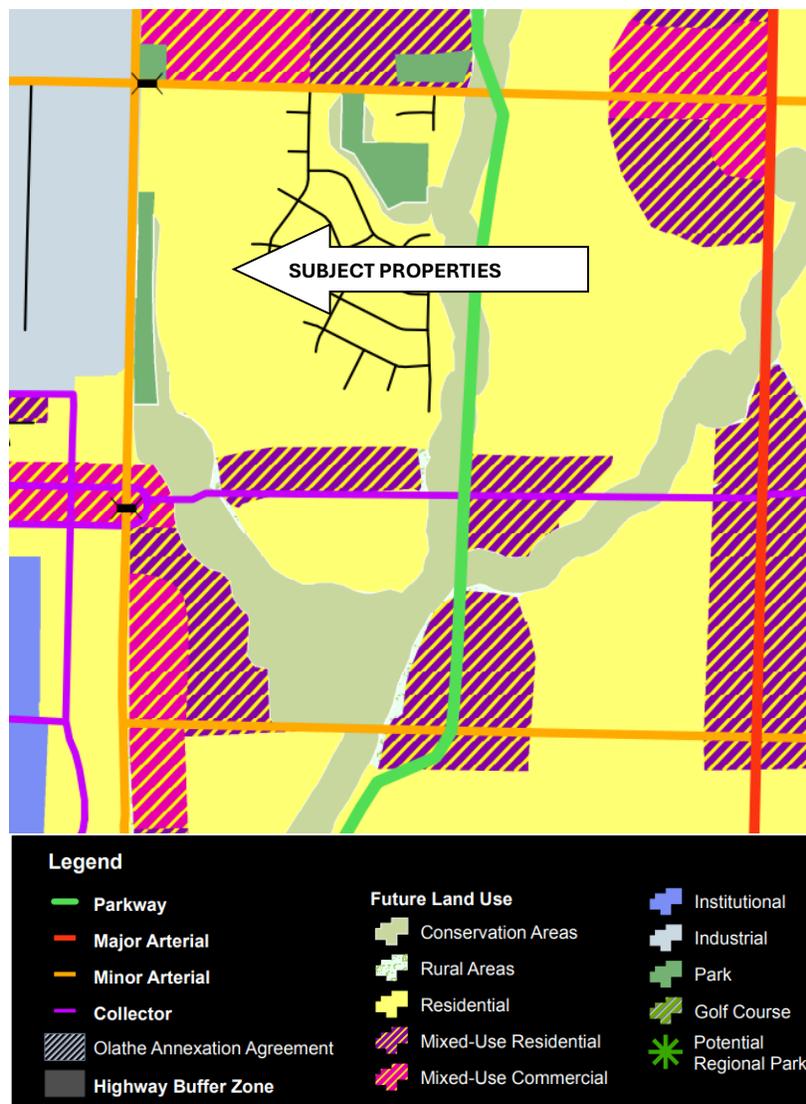
KANSAS

Planning Commission
January 15, 2026

Suitability for Current Zoning

The site is currently zoned “R-2” (Two-Family Residential) and “R-1” (Single-Family Residential). The Future Land Use Plan designates this property for residential land uses. As it stands, the current zoning is compatible with the future land use designation as well as the surrounding neighborhood character.

As currently entitled, the “R-2” district is located at the NW corner of the property, abutting the intersection of 207th and Woodland Road – which is the ideal location for a higher intensity land use within an area characterized by low-density, single-family residential subdivisions.



Detrimental Effect of Zoning Change

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Planning Commission
January 15, 2026

The proposed zoning district, “RP-1” (Planned Single-Family Residential), permits modifications from base district density and development standards. As such, possible detrimental effects may occur if these modifications are granted without compensating with improved amenities.

Staff have coordinated with the applicant to seek additional sidewalk width, active open areas such as a soft playground, and additional amenities such as walking trails and benches throughout the tract abutting Woodland Road. Additional screening has also been proposed along Woodland Road and 207th, further compensating for proposed modification requests.

Length of Time at Current Zoning

The length of time that the property has been entitled under its current zoning district is not germane to the present application.

Public Gain Balanced by Landowner Hardship

The proposed development will contribute to the housing stock of Spring Hill. Additionally, the project will expand the types of housing options available, by providing a mix of both smaller and larger single-family homes. This will also provide for additional property tax revenue and improving the underlying community’s tax base to continue providing services to the community as well as attract commercial development interest.

Potential landowner hardships include potential increased traffic and road utilization, although this is mitigated by existing access points along 207th Street and the phasing of the proposed development.

Suitability of Parcel for Uses Restricted by Current Zone

Under the current zoning district, permitted land uses include single-family and two-family dwelling units. The layout of the property and the proximity of it to similar land uses render it suitable for the uses permitted by the R-1 and R-2 zoning districts.

Suitability of Parcel for Uses Permitted by the Proposed District

The proposed zoning district permits only single-family homes instead of a mix of both single and two-family dwelling units. As such, the property would be considered more suitable for the proposed use as the strictly single-family nature of the development wholly aligns with existing surrounding land uses.

Proposed Amendment Corrects an Error

The proposed zoning action does not intend to correct any errors.

Adequacy of Current Facilities

The applicant will submit, as part of the Public Improvement Plan, a detailed report indicating sufficiency of existing public infrastructure. In its current state, both water and sanitary sewer service are available to the subject property.

SPRING HILL

KANSAS

Planning Commission
January 15, 2026

Staff Review

The proposed plat was distributed to City Staff and contracted consultant engineering staff for review. All review comments have been implemented as applicable on the preliminary plan, and any outstanding engineering-related comments will be addressed prior to recording of the plat.

Easements

All easements depicted meet the minimum easement requirements for the City. A traffic study has been received and is being reviewed by the City Engineer and City Traffic Engineer.

Utilities

Water service will be provided by the Johnson County WaterOne and Sanitary Sewer will be provided by the City of Spring Hill.

Adjustments for Modifications

Due to requesting modifications to minimum lot sizes, a minimum 15% of the net land area must be dedicated as open space, and at least 50% of that open space must be considered active. Pursuant to Sec. 17.332.E.6., staff required the addition of passive and active open space.

The applicant has exceeded this requirement by providing 14.84 +/- acres of active and passive open space. This active space includes a fishing pond, soft play area, benches, and walking trails connecting to numerous cul-de-sacs. By ordinance, the applicant was required to provide for 6.97 +/- acres of at least passive open space.

In addition to the passive and active open space requirements, the Unified Zoning Ordinance empowers Staff to seek out different ways to strike a balance between public interest and developer-requested modifications. Accordingly, the applicant has proposed widening sidewalks to 5' width, exceeding the UZO requirement of 4', as well as additional landscaping along the active-space walking trails and along Woodland Road and 207th St.

Architectural Elevations

As the applicant and developer is not the final homebuilder, the applicant has requested that the architectural elevations provided be considered as conceptual in nature and a general vision for major design motifs for homes within the subdivision.

SPRING HILL

KANSAS

Planning Commission
January 15, 2026

Major deviations from these styles will require additional approval, but broadly the intent is to grant flexibility and reprieve from rigid design requirements that may require repeated approval processes as market demands shift.

Additional Staff Comments:

1. A property/homeowner association will maintain the active and passive open spaces.
2. The applicant will pay a park fee at the time of building permit issuance due to the provided trails being internal to the subdivision and not tied into a broader city-wide trail system
3. The Improvement Agreement must be signed, and any applicable excise taxes must be paid prior to recordation of the Final Plat.

Conditions of Approval

Engineering

1. Concurrent with the submittal of a Final Plat application, the developer's engineer shall submit a Public Improvement Permit application and associated engineering plans.
2. Concurrent with the submittal of the Final Plat application, the developer's engineer shall submit a Final Stormwater Management Report.
3. Prior to or concurrent with the submittal of a Public Improvement Permit, the developer's engineer shall submit a Land Disturbance Permit application and associated engineering plans.
4. Concurrent with recording the next final plat, the developer shall submit a Detention Maintenance Agreement associated with any existing detention areas located within the existing phases of the Woodland Ridge subdivision.
5. Concurrent with recording the next final plat, the developer shall submit a Stream Corridor Maintenance Agreement associated with any existing stream corridor areas located with the existing phases of the Woodland Ridge subdivision.
6. Concurrent with the recording of any final plat that contains detention, the developer shall submit a Detention Maintenance Agreement.

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KANSAS

Planning Commission
January 15, 2026

7. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Detention Basin Certification.
8. Concurrent with the recording of any final plat that contains stream corridor, the developer shall submit a Stream Corridor Maintenance Agreement.
9. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Stream Corridor Certification.
10. In lieu of improvements along 207th Street, the developer shall contribute to the 207th Street Improvements benefit district to cover their portion of the cost of the improvements.
11. Concurrent with the final plat approval for any plats located along the Woodland Road frontage, the developer's engineer shall submit engineering plans that include the roadway improvements to Woodland Road.
12. Prior to issuance of any permit, Public Improvements will need to be installed in accordance with City standards and accepted by the City.

Planning Commission Review and Action

Upon review of the site plan application, the Planning Commission may, by a majority vote of those members present:

1. *Recommend approval of the application to the Governing Body*
2. *Recommend denial of the application to the Governing Body, and notify the applicant of such action, or*
3. *Table the application to a specific date and notify the applicant of such action*

This case will be presented to the Governing Body February 12, 2026.

Suggested Motion:

Move to recommend approval of application Z-25-4 PP-25-7, Rezoning w/ Preliminary Plan, Woodland Ridge, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

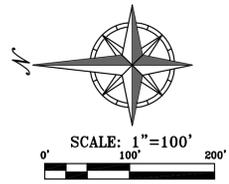
1. Civil Set

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KANSAS

Planning Commission
January 15, 2026

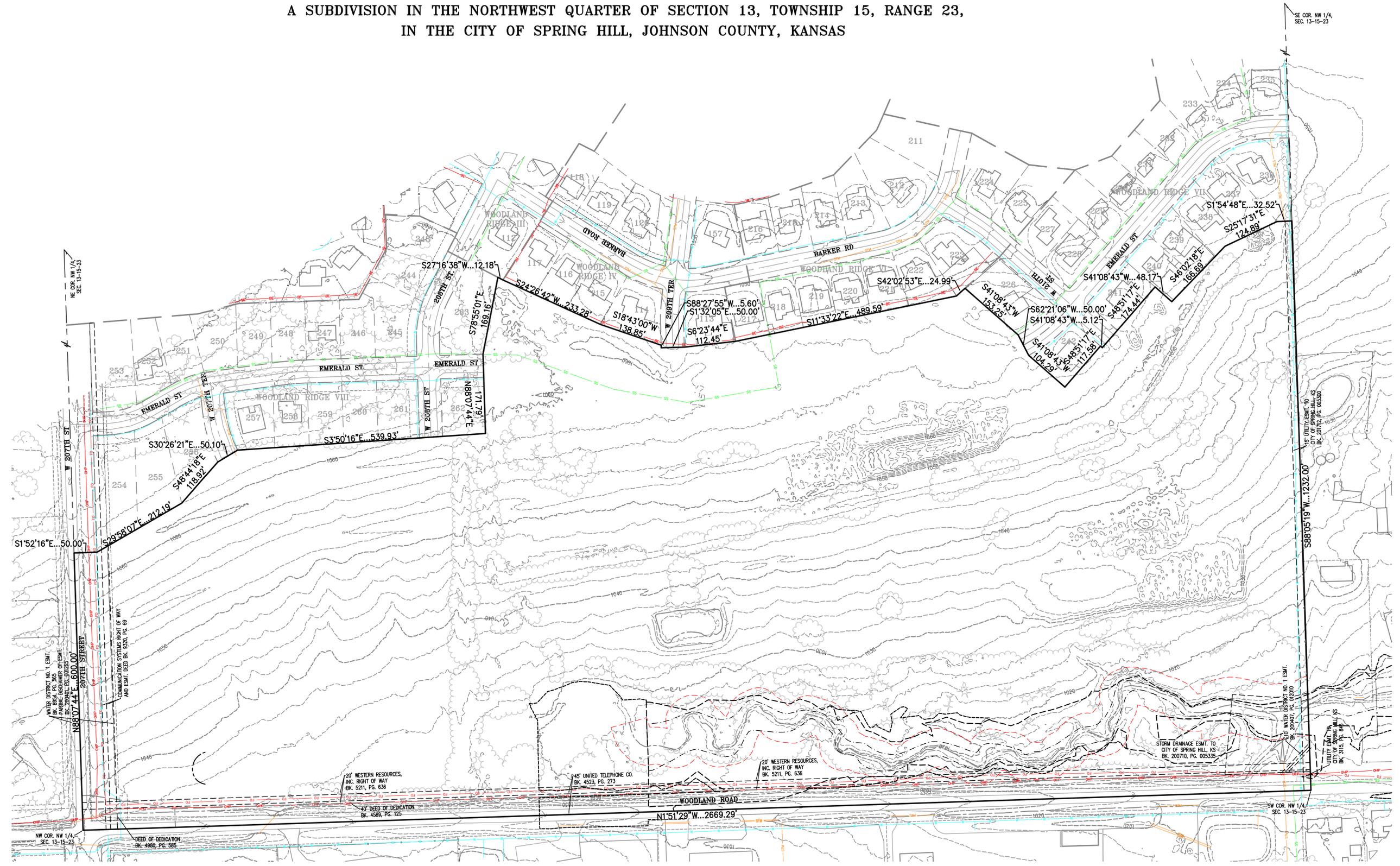
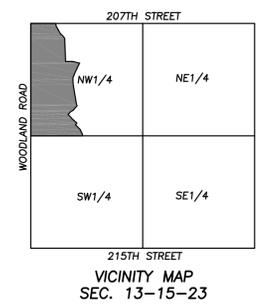
2. Landscape Plan
3. Conceptual Elevations
4. Development Standards Modification Letter
5. Engineering Staff Report



PRELIMINARY PLAT OF WOODLAND RIDGE

A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 15, RANGE 23,
IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS

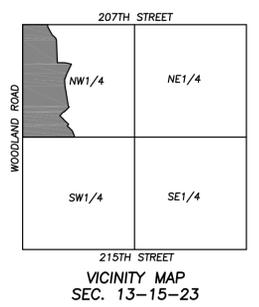
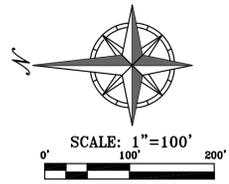
- LEGEND**
- B.L. DENOTES BUILDING LINE
 - U/E DENOTES UTILITY EASEMENT
 - PUB/E DENOTES PUBLIC UTILITY EASEMENT
 - TP/E DENOTES TREE PRESERVATION EASEMENT
 - DENOTES EXISTING SIDEWALK
 - - - DENOTES PROPOSED SIDEWALK
 - - - DENOTES EXISTING FENCE
 - DENOTES EXISTING STORM SEWER
 - - - DENOTES PROPOSED STORM SEWER LINE
 - DENOTES EXISTING SANITARY SEWER LINE
 - - - DENOTES PROPOSED SANITARY SEWER LINE
 - DENOTES EXISTING WATER LINE
 - - - DENOTES PROPOSED WATER LINE
 - DENOTES EXISTING FIBER OPTIC LINE



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PEI
PLANNING
ENGINEERING
IMPLEMENTATION

PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166



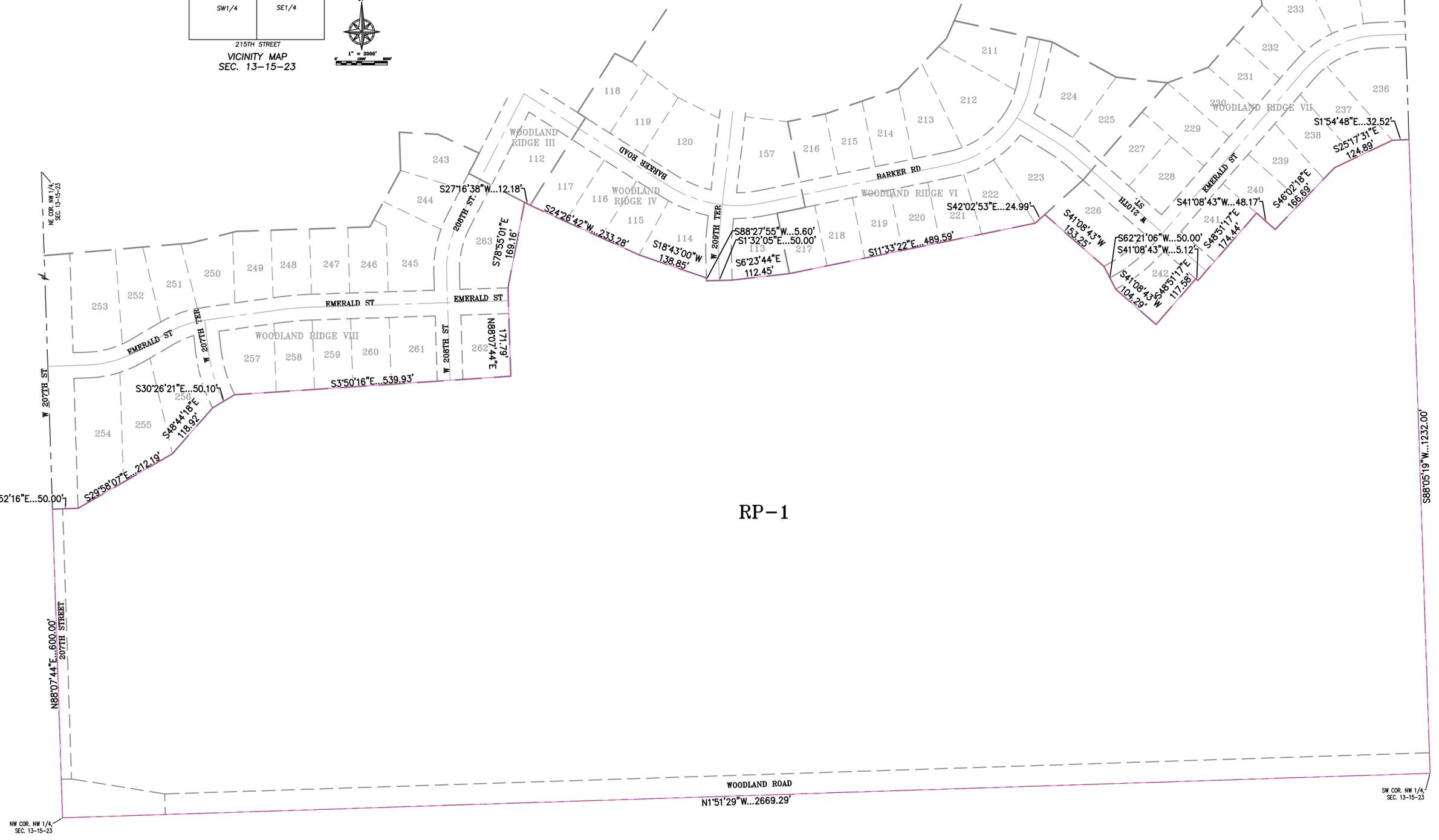
WOODLAND RIDGE

A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 15, RANGE 23,
IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS

SE COR. NW 1/4,
SEC. 13-15-23

RP-1 DESCRIPTION:
ALL THAT PART OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 15 SOUTH,
RANGE 23 EAST, IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS, BEING MORE
PARTICULARLY DESCRIBED BY PHELPS ENGINEERING, INC., CLS-82, ON OCTOBER 20,
2025, FOR PROJECT 250449, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE N 131°29' W, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 2669.29 FEET, TO THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE N 80°07'44" E, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 600.00 FEET, TO THE NORTHWEST CORNER OF WOODLAND RIDGE VII, A PLATTED SUBDIVISION OF LAND IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS; THENCE ALONG THE WEST PLAT LINE OF SAID WOODLAND RIDGE VII FOR THE FOLLOWING SEVEN (7) COURSES: THENCE S 152°16' E, A DISTANCE OF 50.00 FEET; THENCE S 29°58'07" E, A DISTANCE OF 212.19 FEET; THENCE S 48°44'18" E, A DISTANCE OF 118.92 FEET; THENCE S 30°26'21" E, A DISTANCE OF 50.10 FEET; THENCE S 3°50'16" E, A DISTANCE OF 539.93 FEET; THENCE N 88°07'44" E, A DISTANCE OF 171.79 FEET; THENCE S 78°55'01" E, A DISTANCE OF 169.16 FEET, TO THE SOUTHWEST CORNER OF SAID WOODLAND RIDGE VII, SAID POINT ALSO BEING ON THE WESTERLY LINE OF LOT 112, WOODLAND RIDGE III, A PLATTED SUBDIVISION OF LAND IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS; THENCE ALONG THE WESTERLY LINE OF SAID WOODLAND RIDGE IV, FOR THE FOLLOWING FIVE (5) COURSES: THENCE S 27°16'38" W, A DISTANCE OF 12.18 FEET, TO THE NORTHWEST CORNER OF WOODLAND RIDGE IV, A PLATTED SUBDIVISION OF LAND IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS; THENCE ALONG THE WESTERLY LINE OF SAID WOODLAND RIDGE IV, FOR THE FOLLOWING FIVE (5) COURSES: THENCE S 24°26'42" W, A DISTANCE OF 233.28 FEET; THENCE S 18°43'00" W, A DISTANCE OF 138.85 FEET; THENCE S 82°27'55" W, A DISTANCE OF 5.60 FEET; THENCE S 132°05' E, A DISTANCE OF 50.00 FEET; THENCE S 6°23'44" E, A DISTANCE OF 112.45 FEET, TO THE NORTHWEST PLAT CORNER OF WOODLAND RIDGE VI, A PLATTED SUBDIVISION OF LAND IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS; SAID POINT ALSO BEING THE NORTHWEST CORNER OF LOT 217, OF SAID WOODLAND RIDGE VI; THENCE ALONG THE WESTERLY LINE OF SAID WOODLAND RIDGE VI, FOR THE FOLLOWING TWO (2) COURSES: THENCE S 11°33'22" E, A DISTANCE OF 489.59 FEET; THENCE S 42°02'53" E, A DISTANCE OF 24.99 FEET, TO THE NORTH MOST CORNER OF WOODLAND RIDGE VI, A PLATTED SUBDIVISION OF LAND IN THE CITY OF SPRING HILL, JOHNSON COUNTY, KANSAS; THENCE ALONG THE WESTERLY LINE OF SAID WOODLAND RIDGE VII FOR THE FOLLOWING TEN (10) COURSES: THENCE S 41°08'43" W, A DISTANCE OF 153.25 FEET; THENCE S 62°21'06" W, A DISTANCE OF 50.00 FEET; THENCE S 41°08'43" W, A DISTANCE OF 104.29 FEET; THENCE S 48°51'17" E, A DISTANCE OF 117.58 FEET; THENCE S 41°08'43" W, A DISTANCE OF 5.12 FEET; THENCE S 48°51'17" E, A DISTANCE OF 174.44 FEET; THENCE S 41°08'43" W, A DISTANCE OF 48.17 FEET; THENCE S 46°02'18" E, A DISTANCE OF 166.69 FEET; THENCE S 25°17'31" E, A DISTANCE OF 124.89 FEET; THENCE S 154°48' E, A DISTANCE OF 32.52 FEET, TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE S 88°05'01" W, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 1232.00 FEET, TO THE POINT OF BEGINNING, CONTAINING 58.870 ACRES, MORE OR LESS, OF UNPLATTED LAND.



RP-1

S88°05'19"W...1232.00'

OWNER/DEVELOPER:
CHRIS GEORGE HOMES, LLC
15954 S MUR-LEN ROAD, #207
OLATHE, KS 66061
(913) 626-1069

ENGINEER/APPLICANT:
PHELPS ENGINEERING, INC.
1270 N. WINCHESTER
OLATHE, KS 66061
(913) 393-1155
(913) 393-1166 FAX

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PLANNING
ENGINEERING
IMPLEMENTATION

PHELPS ENGINEERING, INC.
1270 N. Winchester
Olathe, Kansas 66061
(913) 393-1155
Fax (913) 393-1166

Engineering Department

Public Improvement Plans will be required with each final plat application. The public improvements may include the installation of public roadways, storm sewer, sanitary sewer, waterline, streetlights, and associated grading. Those areas will be identified with the additional engineering design included in the Public Improvement Plans. Public Improvements will need to be installed and accepted by the City prior to issuance of any building permit.

Prior to or concurrent with the submittal of the Public Improvement Plans, the developer's engineer shall apply for a Land Disturbance Permit and submit a separate set of plans. The Land Disturbance Permit will remain open throughout the duration of construction of infrastructure and residential structures.

The City has received grant funding for the improvements to 207th Street between Woodland and Ridgeview. It is anticipated that the construction will occur in 2028-2029. In the meantime, the City will hire an engineer to design the proposed improvements to 207th Street. Additional easements may be necessary with the construction of the 207th Street improvements. Since the preliminary design has not been completed, the extent of the easements needs is unknown at this time. With this application, the City will not be requesting additional improvements along 207th Street because of the City's planned project. The developer will be required to contribute funding in lieu of making improvements to 207th Street along the frontage of their subdivision.

Woodland Road, south of 207th Street, is a two-lane unimproved roadway with a total width of 28-feet. Additional improvements to Woodland Road along the frontage of the subdivision will be required with the development of proposed plats. These improvements will be included in the Public Improvement Plans.

A Preliminary Stormwater Management Report was submitted for the Woodland Ridge subdivision. The proposed development contains 58.87 acres and is located in the Ten Mile Creek watershed.

In accordance with APWA 5600, stormwater detention is required for developments to detain stormwater runoff contributed by the additional impervious surface from the development. There are a total of three detention ponds within the proposed development. With the submittal of final plat applications, the developer's engineer will need to submit a Final Stormwater Management Report that includes additional design calculations related

to these detention ponds. The homes association will be responsible for the maintenance of the detention facilities. The City has a recent practice of getting these agreements with proposed developments. Previous plats of Woodland Ridge constructed with detention ponds will require submittal of maintenance agreements. Prior to recording the next final plat, the developer will need to submit a Detention Maintenance Agreement. With proposed final plats that contain detention facilities, Detention Maintenance Agreements will be required prior to recording those plats. At the conclusion of the construction of the public improvements, the developer's engineer shall submit a Detention Basin Certification, certifying that the basin was constructed in accordance with the engineering design.

In accordance with APWA 5600, stream corridor setbacks are required for drainage areas that exceed 40 acres. There is one stream, Sweetwater Creek Tributary A, located within the proposed development. Stream corridor areas shall be reserved in tracts specifically reserving and protecting this area. Previous plats of Woodland Ridge include stream corridor buffer zones and require submittal of maintenance agreements. Prior to recording the next final plat, the developer will need to submit a Stream Corridor Maintenance Agreement. At the conclusion of the construction of the public improvements, the developer's engineer shall submit a Stream Corridor Maintenance Certification, certifying that the corridor was constructed in accordance with the engineering design.

Floodplain exists along the west portion of the property, along Woodland Road. There are areas of Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood. There are areas within the Zone X (shaded) and Zone X with areas subject to inundation by the 0.2% annual chance flood. The developer's engineer will be required to design the proposed development within FEMA and APWA requirements, which includes the acquisition of associated permits from FEMA and the US Army Corps of Engineers. Additional requirements will be placed on the residential lots located near the FEMA floodplain to ensure that adjacent lots are elevated to prevent flooding.

The Engineering Department recommends approval with the following stipulations:

1. Concurrent with the submittal of a Final Plat application, the developer's engineer shall submit a Public Improvement Permit application and associated engineering plans.
2. Concurrent with the submittal of the Final Plat application, the developer's engineer shall submit a Final Stormwater Management Report.
3. Prior to or concurrent with the submittal of a Public Improvement Permit, the developer's engineer shall submit a Land Disturbance Permit application and associated engineering plans.

4. Concurrent with recording the next final plat, the developer shall submit a Detention Maintenance Agreement associated with any existing detention areas located within the existing phases of the Woodland Ridge subdivision.
5. Concurrent with recording the next final plat, the developer shall submit a Stream Corridor Maintenance Agreement associated with any existing stream corridor areas located with the existing phases of the Woodland Ridge subdivision.
6. Concurrent with the recording of any final plat that contains detention, the developer shall submit a Detention Maintenance Agreement.
7. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Detention Basin Certification.
8. Concurrent with the recording of any final plat that contains stream corridor, the developer shall submit a Stream Corridor Maintenance Agreement.
9. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Stream Corridor Certification.
10. In lieu of improvements along 207th Street, the developer shall contribute to the 207th Street Improvements benefit district to cover their portion of the cost of the improvements.
11. Concurrent with the final plat approval for any plats located along the Woodland Road frontage, the developer's engineer shall submit engineering plans that include the roadway improvements to Woodland Road.
12. Prior to issuance of any permit, Public Improvements will need to be installed in accordance with City standards and accepted by the City.

- TREE PLANTING NOTES:**
- DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - MARK THE NORTH SIDE OF THE TREE IN THE NURSERY. AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
 - APPLY 4" THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
 - EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
 - REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL. TYP

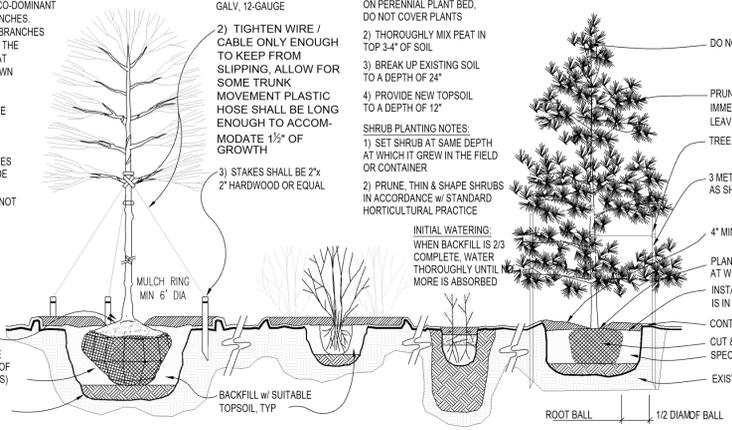
- STAKING REQUIREMENTS:**
- WIRE / CABLE SHALL BE GALV. 12-GAUGE
 - TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1/2" OF GROWTH
 - STAKES SHALL BE 2" x 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:**
- APPLY 2" THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

- SHRUB PLANTING NOTES:**
- SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

- INITIAL WATERING:**
- WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL MORE IS ABSORBED

- DO NOT PRUNE LEADER
- PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE "Y" CROTCHES OR DOUBLE LEADER
- TREE TIE SYSTEM, SEE STAKING REQUIREMENTS
- 3 METAL STAKES. PLACE NEXT TO ROOT BALL AS SHOWN. SPACE EQUIDISTANT AROUND TREE.
- 4" MIN. SPECIFIED MULCH
- PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW.
- INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED
- CONTINUOUS SAUCER, RIM FOR WATER & MULCH CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL.
- SPECIFIED BACKFILL MIXTURE
- EXISTING UNDISTURBED SUBSOIL



Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
[Symbol]	71	<i>Nyssa sylvatica</i>	Black Tupelo		2.5"	6" min. clear., ground to canopy	
[Symbol]	76	<i>Quercus rubra</i>	Northern Red Oak		2.5"	6" min. clear., ground to canopy	
[Symbol]	34	<i>Gleditsia triacanthos 'Shademaster'</i>	Shademaster Honeylocust		2.5"	6" min. clear., ground to canopy	
[Symbol]	31	<i>Platanus x acerifolia</i>	London Plane Tree		2.5"	6" min. clear., ground to canopy	
[Symbol]	90	<i>Acer x truncatum 'Warrenred'</i>	Pacific Sunset Maple		2.5"	6" min. clear., ground to canopy	
[Symbol]	57	<i>Zelkova serrata</i>	Japanese Zelkova		2.5"	6" min. clear., ground to canopy	
EVERGREEN TREES							
[Symbol]	29	<i>Juniperus chinensis 'Keteleeri'</i>	Keteleeri Juniper		6' ht.	symmetrical pyramidal form	
[Symbol]	56	<i>Juniper chinensis</i>	Eastern Red Cedar		6' ht.	symmetrical pyramidal form	
[Symbol]	28	<i>Picea abies</i>	Norway Spruce		6' ht.	symmetrical pyramidal form	
ORNAMENTAL TREES							
[Symbol]	7	<i>Cercis canadensis</i>	Eastern Redbud		1.5"		
[Symbol]	7	<i>Cornus florida 'Cloud Nine'</i>	Cloud 9 Dogwood		1.5"		
EXISTING TREES/SHRUBS TO BE PRESERVED							

Landscape Calculations

Street Trees: In all zones, one large shade tree is required for each 40 feet of street frontage or portion thereof. (Totals shown below combine both sides of the road, minus intersecting streets)

In addition, one large shade tree shall be provided for each dwelling unit, or every 3000 sf of landscape open space in zones AG through C-2.

207th Terr = 290 LF. 7 Trees required. 7 Trees provided.
 Street 'A' = 1,558 LF. 39 Trees required. 39 Trees provided.
 Street 'B' = 472 LF. 12 Trees required. 12 Trees provided.
 208th Street = 1,492 LF. 37 Trees required. 37 Trees provided.
 Emerald Street = 2,178 LF. 54 Trees required. 54 Trees provided.
 Street 'C' = 1,138 LF. 29 Trees required. 29 Trees provided.
 Street 'D' = 1,092 LF. 27 Trees required. 27 Trees provided.
 Street 'E' = 760 LF. 19 Trees required. 19 Trees provided.
 Street 'F' = 1,383 LF. 35 Trees required. 35 Trees provided.
 Street 'G' = 1,116 LF. 28 Trees required. 28 Trees provided.
 210th Street = 1,216 LF. 30 Trees required. 30 Trees provided.

REQUIREMENTS MET.

Buffer Plantings: A minimum for each 100 linear feet or portion thereof of arterial street or where rear lot lines are adjacent to a collector roadway frontage.

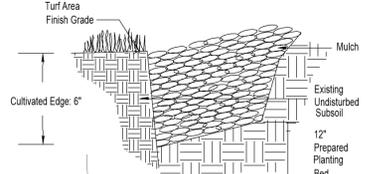
- Eight (8) evergreen (conifers) trees with a minimum size of six (6) feet in height;
- Two (2) shade trees with a minimum caliper of two (2) inches as measured six (6) inches above the ground;
- One (1) ornamental tree with a minimum size of 10 feet in height.

535 LF of road along 207th Street
 35 Evergreens Required - 35 Provided
 9 Shade trees required - 9 Provided
 4 Ornamental trees required - 4 Provided

929 LF of road along Woodland Road
 74 Evergreens Required - 74 Provided
 19 Shade trees required - 19 Provided
 9 Ornamental trees required - 9 Provided
REQUIREMENTS MET.

1 PLANTING INSTALLATION DETAILS

SCALE: NTS



2 CULTIVATED EDGE DETAIL

SCALE: NTS



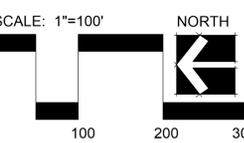
3 LANDSCAPE PLAN

SCALE: 1"=100'-0"



CLIENT
 Chris George Homes
 15954 S Mur-Len Rd #207
 Olathe, KS 66062

PROJECT
 Woodland Ridge
 Woodland Road
 Spring Hill KS



Date: 12.18.2025
 Project #: 1225
 Concept Plan



December 16, 2025

Amy Long
City of Spring Hill
401 N. Madison Street
Spring Hill, KS 66083

Re: Woodland Ridge – Revised Preliminary Plan
Deviation Requested

Woodland Ridge is currently zoned as R-1 and R-2 and is proposed to be rezoned to RP-1 zoning. The following deviations are requested for the Woodland Ridge Revised Preliminary Plan, and Rezoning:

Deviations from R-1 Bulk Requirements:

1. Ordinance Section 17.310.D.1 Minimum lot size of 9,000 square feet

Requesting a deviation from the minimum lot area of 9,000 square feet to 6,400 square feet for lots 1-4, 10-31, 35, 36, 39-62, 64-70, 73-78, 83-87, 96-100, 103-106, 109-111, 113, 117, 121-125, and 127-129. The reduction in lot area is to allow for smaller lots and more affordable housing options than the standard 75-foot wide R-1 zoned lots.

2. Ordinance Section 17.310.D.2 Minimum lot width of 75-feet measured at the building setback line.

Requesting a deviation for lot width reduction to 50-foot wide lot for lots 1-43, and lot width reduction to 60-foot wide lot for lots 44-137. The reduction in lot width is to allow for smaller lots and more affordable housing options than the standard 75-foot wide R-1 zoned lots.

3. Ordinance Section 17.310.D.4 Minimum front setback: 35 feet

Requesting a deviation from the front yard setback of 35-feet to 25-feet for lots 1 through 158. The reduction in setback is to allow for more flexibility in house sizes and allow better rear yard setback on shallow lots.

4. Ordinance Section 17.310.D.6 Minimum interior side yard setback of 7-feet. There shall be a side yard on each side of the dwelling the total of which shall be not less than 20% of the width of the lot measured at the build line.

Requesting a deviation from the minimum 7-foot side yard and total side yard setback of 20% the lot width measured at the build line to minimum fixed 5-foot side yard setback on lots 1-137. The reduction in setback is to allow for more flexibility in house sizes on narrower lots.

Supporting Documentation for requested deviations:

1. RP-1 Planned Residential Zoning Districts per Code Section 17.338 Property Development Standards allows for lots with following minimum bulk requirements:

Section 17.338 - Development Standards

	Minimum Standard RP-2	Minimum Provided	Condition Meet
Lot Area (sq.ft.)	5,500	6,406	Yes
Lot Width (ft)	50	50	Yes
Front Setback (ft)	20	25	Yes
Rear Setback	20	20	Yes
Interior Side Setback	5	5	Yes

2. The total net platted area of this preliminary plat is 55.73 acres and 14.86-acres of property is undevelopable due to the required stream corridor setback, floodplain, and stormwater detention required on property; therefore 26.6% of the property is undevelopable. Requested deviations will help offset the loss of developable land and allow for more affordable housing.
3. Affordable housing is needed in the Johnson County area, and the requested deviations would allow for two additional affordable housing markets with the allowance of 50-foot and 60-foot wide lots.
4. The 50-foot wide lot area at the north is currently zoned R-2 for duplexes, so the requested RP-1 zoning for detached single family residential 50-foot wide lots is a down zoning, or at least lateral zoning, from the current zoned R-2 Attached Single Family residential.
5. Planned Districts are required to provide a higher quality development than the stand R-1 zoning district. R-1 zoning has no open space requirements, but the RP-1 proposed plan is proposing 14.86 acres (26.6%) of the property as open space. The open space will include a 6-foot wide asphalt trail system, soft play area, kids fishing pond, sitting benches, and increased landscaping.
6. 1:1 Ratio Compensation
The requested deviations allow for a total of 9.68 acres of lot reduction. The following table outlines the total area of lot reduction per deviation request:

	Total Area of Requested Deviation, (Acres)	Open Space Provided, (Acres)
Section 17.310.D.1		
Minimum Lot Size of 9,000 Square Feet	2.8	
Section 17.310.D.2		
Minimum Lot Width of 75-Feet	3.18	
Section 17.310.D.4		
Minimum Front Yard Setback of 35-Feet	1.79	
Section 17.310.D.6		
Minimum interior side yard setback of 7-feet.	1.91	
Total side yard shall be not less than 20% of width of the lot		
Total	9.68	14.86

The proposed plan provides 14.86 acres of open space providing greater than a 1:1 Ratio open space to deviation area requested.

Sincerely,

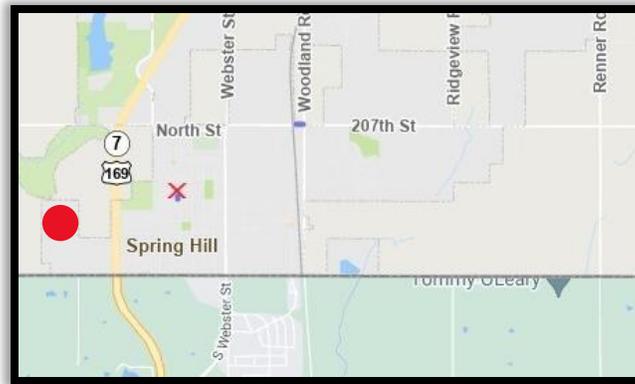
Phelps Engineering, Inc.

A handwritten signature in blue ink, appearing to read 'T. Tucker', with a long horizontal flourish extending to the right.

Tim Tucker, P.E.

Avondale Meadows Third Plat

FP-25-14 – Final Plat



Application Information

Location:	NW of US-169 and 215 th St. North of Avondale Meadows 1 st and 2 nd
Applicant:	Stephen Lieux <i>Kansas LD, LLC</i>
Engineer:	Ben Gasper <i>SMH Consultants</i>
Owner:	Stephen Lieux <i>Kansas LD, LLC</i>

Project Information

Current Zoning:	RP-1 – Planned Single-Family Residential
Land Area:	(+/-) 29.64 ac (+/-) 1,291,118 sq. ft.
# of Lots:	117 Single-family lots 2 Tracts

Executive Summary

The applicant, Stephen Lieux, has submitted for approval of a 117-lot Final Plat for Avondale Meadows, Third Plat. The most recent preliminary plat associated with this project was presented for consideration to the Planning Commission on June 5, 2025, and approved.

There are no changes in lot layout, count, or sizing between the approved Preliminary Plat and the Final Plat under consideration.

The Final Plat was distributed to City Staff and hired consultants for review, and all outstanding comments have been addressed prior to presentation. Any additional comments that may arise following approval will be addressed and resolved prior to recordation and/or final acceptance.

Staff have determined that the application meets all UZO standards and recommends approval.

SPRING HILL

KANSAS

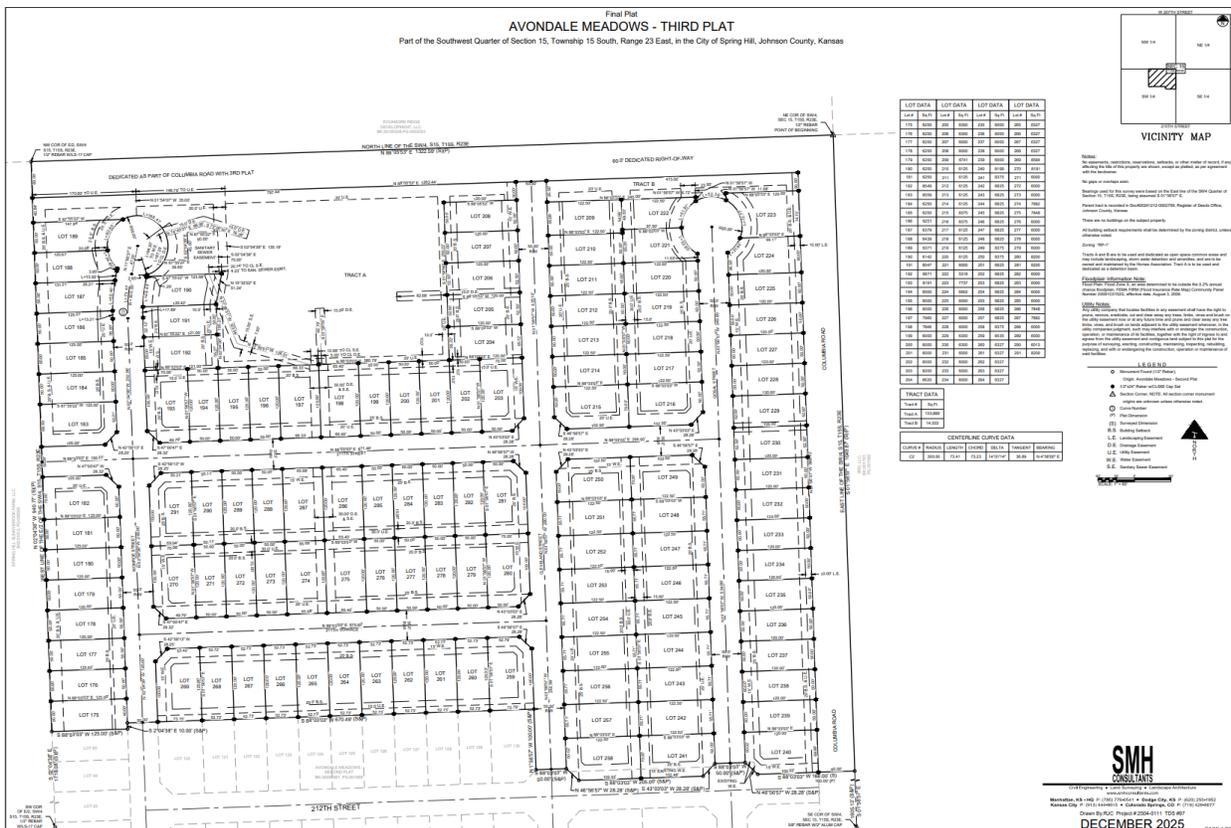
Planning Commission
January 15, 2026

FINAL PLAT

Avondale Meadows, Third Plat is comprised of 117 single-family home lots on 29.64 acres of land located approximately northwest of the US-169 and 215th Street intersection, north of the Avondale Meadows First and Second Plats.

Lot widths within the proposed subdivision range between 50 to 66 feet, and lot areas range between 6,000 and approximately 8,600 sq. ft.

Staff review has confirmed that the application meets all standards of Sec. 17.372.D of the Spring Hill Subdivision Regulations as well as the adopted Comprehensive Plan. Staff is reviewing a Public Improvement Plan submitted alongside the Final Plat application to confirm the public improvements will meet all applicable standards and regulations. Any comments arising from the review of the PIP must be addressed prior to final acceptance.



Additional Staff Comments:

1. A property/homeowner association will maintain all tracts and associated stormwater and sanitary sewer infrastructure.
2. Any outstanding excise tax must be paid in full prior to final acceptance of the plat.
3. Water service will be provided by Johnson Rural Water District 7.
4. Sanitary sewer service will be provided by the City of Spring Hill.

Conditions of Approval

Engineering

1. Address the plan review comments as outlined by Lamp Rynearson. Engineering will review the plans for approval prior to issuance of a construction permit.
 2. Concurrent with the submittal of a Final Plat application, the developer's engineer shall submit a Public Improvement Permit application and associated engineering plans.
 3. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.
 4. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.
 5. Prior to recording the final plat, the developer shall submit Detention Maintenance Agreements for any existing detention ponds located in previous phases of the Avondale Meadows subdivision.
 6. Concurrent with the recording of the final plat, the developer shall submit a Detention Maintenance Agreement.
 7. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Detention Basin Certification.
 8. Prior to issuance of any permit, Public Improvements will need to be installed in accordance with City standards and accepted by the City.
-

Planning Commission Review and Action

Upon review of the site plan application, the Planning Commission may, by a majority vote of those members present:

1. *Recommend approval of the application to the Governing Body*
2. *Recommend denial of the application to the Governing Body, and notify the applicant of such action, or*
3. *Table the application to a specific date and notify the applicant of such action*

This case will be presented to the Governing Body on February 12, 2026.

Suggested Motion:

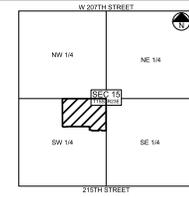
Move to recommend approval of application FP-25-14, Avondale Meadows Third Plat, Final Plat, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

1. Final Plat
2. Engineering Staff Report

Final Plat AVONDALE MEADOWS - THIRD PLAT

Part of the Southwest Quarter of Section 15, Township 15 South, Range 23 East, in the City of Spring Hill, Johnson County, Kansas



VICINITY MAP

NOTES:
No easements, restrictions, reservations, setbacks, or other matters of record if any, affecting the title of this property are shown, except as stated, as per agreement with the Encumber.

No open or unexcused land.

Boundaries used for this survey were based on the East line of the S1/4 Quarter of Section 15, T15S, R23E, being assumed 0°15'57" E.

Parent tract is recorded as Docket 20241212-0002769, Register of Deeds Office, Johnson County, Kansas.

There are no buildings on the subject property.

All building setback requirements shall be determined by the zoning district, unless otherwise noted.

Zoning: "R9-1"

Tracts A and B are to be used and dedicated as open space common areas and may include landscaping, storm water detention and amenities, and are to be owned and maintained by the Home Association. Tract A is to be used and dedicated as a detention basin.

Floodplain Information Note:
Flood Plain Flood Zone X, an area determined to be outside the 0.2% annual chance floodplain (FEMA Flood Risk Insurance Rate Map) Community Profile Number 2008013152C, effective date, August 3, 2009.

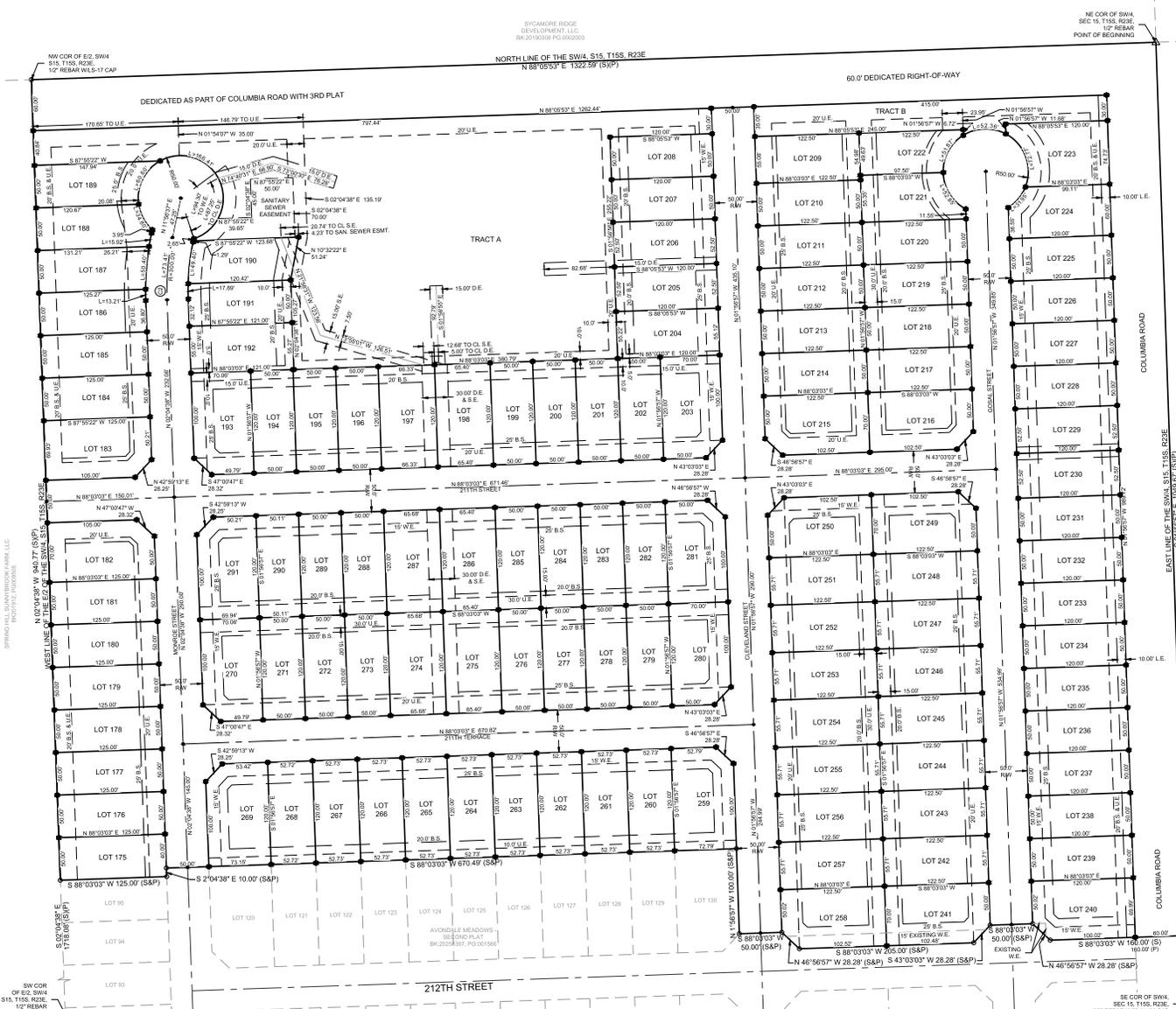
Utility Notes:
Any utility company that locates facilities in any easement shall have the right to probe, remove, relocate, cut and clear any trees, limbs, vines and brush on the utility easement area at any time and shall have the right to install any lines, poles, wires, and brach on lands adjacent to the utility easement whenever, in the utility companies judgment, such may interfere with or endanger the construction, operation, or maintenance of its facilities, together with the right of ingress to and egress from the utility easement and contiguous land subject to this plat for the purpose of surveying, erecting, constructing, maintaining, inspecting, rebuilding, replacing, and with such engineering the construction, operation or maintenance of said facilities.



LOT DATA	LOT DATA	LOT DATA	LOT DATA
Lot #	Sq Ft	Lot #	Sq Ft
175	6250	205	6300
176	6250	206	6300
177	6250	207	6300
178	6250	208	6300
179	6250	209	6300
180	6250	210	6300
181	6250	211	6300
182	6549	212	6125
183	6549	213	6125
184	6250	214	6125
185	6250	215	6375
186	6250	216	6375
187	6379	217	6125
188	6439	218	6125
189	6371	219	6125
190	6142	220	6125
191	6047	221	6000
192	6071	222	6318
193	6191	223	7337
194	6000	224	6602
195	6000	225	6600
196	6000	226	6600
197	7960	227	6000
198	7948	228	6000
199	6000	229	6300
200	6000	230	6000
201	6000	231	6000
202	6000	232	6000
203	8200	233	6000
204	6620	234	6000
205	6300	235	6000
206	6000	236	6000
207	6300	237	6000
208	6300	238	6000
209	6000	239	6000
210	6199	240	6191
211	6375	241	6375
212	6625	242	6625
213	6625	243	6625
214	6625	244	6625
215	6625	245	6625
216	6625	246	6625
217	6625	247	6625
218	6625	248	6625
219	6375	249	6375
220	6375	250	6375
221	6000	251	6000
222	6625	252	6625
223	6625	253	6625
224	6625	254	6625
225	6625	255	6625
226	6625	256	6625
227	6625	257	6625
228	6625	258	6625
229	6625	259	6625
230	6625	260	6625
231	6625	261	6625
232	6625	262	6625
233	6625	263	6625
234	6625	264	6625

TRACT DATA	
Tract #	Sq Ft
Tract A	133,888
Tract B	14,033

CENTERLINE CURVE DATA					
CURVE #	RADIUS	LENGTH	CHORD	DELTA	TANGENT
C2	300.00	73.41	73.23	14°10'14"	36.89
					N 4°00'00" E



Final Plat
AVONDALE MEADOWS - THIRD PLAT

Part of the Southwest Quarter of Section 15, Township 15 South, Range 23 East, in the City of Spring Hill, Johnson County, Kansas

OWNER'S CERTIFICATE

STATE OF _____)
COUNTY OF _____) ss

The undersigned proprietors of the above described tract of land have caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereinafter be known as "Avondale Meadows - Third Plat".

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, and alleys.

An easement or license to enter for the purposes of the location, installation, construction, reconstruction, maintenance, inspection, repair and removal of sanitary sewers, storm drainage facilities, utilities (including electrical, natural gas, water, telephone, cable television, internet access, fiber, communication and data transmission, distribution and service lines), traffic signals and any other purpose incidental thereto; and the construction, reconstruction, improvement, maintenance, inspection, repair and removal of any facilities or operations related to any aspect of any utility services discussed herein upon, in, over, under and through those areas outlined and designated on this plat as "Utility Easement" or "UIE", is hereby granted to the City of Spring Hill, Kansas, and other governmental entities as may be authorized by state law to use such easement for said purposes.

An easement or license to lay, construct, alter, repair, replace and operate one or more sewer lines and all appurtenances convenient for the collection of sanitary sewage, together with the right of ingress or egress, over and through those areas designated as "Sanitary Sewer Easement" or "SSE" on this plat is hereby dedicated to the City of Spring Hill, Kansas, or their assigns.

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction, maintenance of use or conduits, surface drainage facilities, subsurface drainage facilities and similar facilities, upon, over, under and through those areas outlined and designated as "Drainage Easement" or "DE" on this plat are hereby dedicated to the City of Spring Hill, Kansas. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of drainage facilities located within the easement.

An easement is hereby granted and reserved by the undersigned proprietor of the above described land unto itself and the Avondale Meadows Homes Association to enter upon, plant, replace, replant, move, cull, trim, spray, chemically treat, repair and authorize such maintenance, reconstruction, improvement, of any and all grass, trees, shrubs, plants and other landscaping and all fences and monuments installed by the undersigned proprietor and by the Avondale Meadows Homes Association upon, over, or under those areas outlined and designated on this plat as "Landscaping Easement" or "LE".

An easement or license to lay, construct, maintain, alter, repair, replace, and operate one or more waterlines and all appurtenances convenient to the distribution of water, together with the right of ingress and egress, over and through those areas designated as "Water Easement" or "WE" on this plat with the right of ingress and egress over and through adjoining land as may be reasonably necessary to access said easement and is hereby dedicated to Rural Water District No. 7 Johnson County, Kansas (Water 7) or their assigns. Alteration of land contours will be permitted only with the express written approval of Water 7. Any placing of improvements or plantings of trees on said easement will be done at the risk of subsequent damage thereto without compensation therefor.

The undersigned proprietors of the above described land hereby consent and agree that the Board of County Commissioners of Johnson County, Kansas, shall have the power to release such land proposed to be dedicated for public ways and thoroughfares, or parts thereof, for public use from the lien and effect of any special assessments, and that the amount of the unpaid special assessments on such land dedicated shall become and remain a lien on the remainder of this land fronting and abutting on such dedicated public ways or thoroughfares.

The undersigned proprietors of said property shown on this plat do hereby dedicate for public use and public ways and thoroughfares, all parcels, and parts of land indicated on said plat as streets, terraces, places, roads, drives, lanes, avenues, and alleys not heretofore dedicated. Where prior easement rights have been granted to any person, utility, or corporation on said parts of the land so dedicated, and any pipes and wires, conduits, ducts, or cables heretofore installed proposed improvements as now set forth, the undersigned proprietors hereby absolve and indemnify the City of Spring Hill from any expense incident to the relocation of any such existing utility installations within said prior easement.

Given under my hand at _____, Kansas this _____ day of _____, 2025.

Kansas LD, LLC

Justin Cox, Vice President

NOTARY CERTIFICATE

STATE OF _____)
COUNTY OF _____) ss

BE IT REMEMBERED, that on this _____ day of _____, 2025, before me, the undersigned, a notary public in and for the County and State aforesaid, came _____
Justin Cox, Vice President of Kansas LD, LLC

who is personally known to me to be the same person who executed the within instrument of writing, and such persons duly acknowledged the execution of the same for the use and purposes herein set forth.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Notarial Seal on the day and year last above written.

Notary Public

My appointment expires _____

CERTIFICATE OF THE GOVERNING BODY

STATE OF KANSAS)
COUNTY OF JOHNSON) ss

APPROVED BY, the Governing Body of the City of Spring Hill, Johnson County, Kansas, this _____ day of _____, 2025.

ATTEST
Joe Berkey, Mayor
Glennda Gentry, City Clerk

DESCRIPTION:

A tract of land in the Southwest Quarter of Section 15, Township 15 South, Range 23 East of the Sixth Principal Meridian, Johnson County, Spring Hill, Kansas described as follows:

Beginning at the Northeast Corner of said Southwest Quarter; thence S 01°56'57" E along the East line of said Southwest Quarter and along the East line of land owned by Kansas LD, LLC, a Kansas limited liability company, recorded as Document Number 2024121-0002789, in the Johnson County Register of Deeds Office, 1048.67 feet; thence S 88°03'03" W through Columbia Road right-of-way, as shown on Avondale Meadows Second Plat, a subdivision in the City of Spring Hill, Johnson County, Kansas, according to the recorded plat thereof, along the South line of land owned by said Kansas LD, LLC and along the North right-of-way line of 215th Street, as shown on said Avondale Meadows Second Plat, 160.00 feet; thence N 48°56'57" W along said South line and said North right-of-way line, 28.28 feet; thence S 88°03'03" W along said South line and through Canal Street right-of-way, as shown on said Avondale Meadows Second Plat, 50.00 feet; thence S 43°03'03" W along said South line and said North right-of-way line, 28.28 feet; thence S 88°03'03" W along said South line and said North right-of-way line, 205.00 feet; thence N 48°56'57" W along said South line and said North right-of-way line, 28.28 feet; thence S 88°03'03" W along said South line and through Cleveland Street right-of-way, as shown on said Avondale Meadows Second Plat, 50.00 feet to the East line of Lot 130, said Avondale Meadows Second Plat, being common with a line of the land owned by said Kansas LD, LLC; thence N 01°56'57" W along said East line of Lot 130, being common with a line of said land owned by said Kansas LD, LLC, 100.00 feet to the Northeast corner of said Lot 130, thence S 88°03'03" W along the North lines of Lots 130 through 120, said Avondale Meadows Second Plat, being common with a line of the land owned by said Kansas LD, LLC; thence N 01°56'57" W along said East line of Lot 130, being common with a line of said land owned by said Kansas LD, LLC, 125.00 feet to the West right-of-way line of said Monroe Street, being common with a line of land owned by Kansas LD, LLC, 10.00 feet to said South line and the Northeast corner of Lot 95, said Avondale Meadows Second Plat; thence S 88°03'03" W along the North line of said Lot 95 and said South line, 125.00 feet to the Northwest corner of said Lot 95, the West line of the East half of said Southwest Quarter, the West line of said land owned by Kansas LD, LLC and the East line of land owned by Spring Hill Sunnybrook Farm, LLC, a Kansas limited liability company, recorded as Document Number 20191230-0009505, in the Johnson County Register of Deeds Office; thence N 02°04'38" E along the West line of the East Half of said Southwest Quarter, the West line of said land owned by Kansas LD, LLC and the East line of said land owned by Spring Hill Sunnybrook Farm, LLC, 840.77 feet to the Northwest corner of the East Half of said Southwest Quarter, the Northwest corner of said land owned by Kansas LD, LLC, the Northeast Corner of said land owned by Spring Hill Sunnybrook Farm, LLC and the South line of land owned by Sycamore Ridge Development, LLC, a Kansas limited liability company, recorded as Document Number 20190308-0002003, in the Johnson County Register of Deeds Office; thence N 88°06'53" E along the North line of said Southwest Quarter, the North line of said land owned by Kansas LD, LLC and the South line of said land owned by Sycamore Ridge Development, LLC, 1322.59 feet to the point of beginning, containing 29.64 acres, subject to easements and rights-of-way of record. Matthew L. Brenzler, PLS-1316, June 24, 2025.

CERTIFICATE OF THE PLANNING COMMISSION

STATE OF KANSAS)
COUNTY OF JOHNSON) ss

APPROVED BY, the Planning Commission of the City of Spring Hill, Johnson County, Kansas, this _____ day of _____, 2025.

Rodolfo Arevalo, Chair

SURVEYOR'S CERTIFICATE

STATE OF KANSAS)
COUNTY OF JOHNSON) ss

I, the undersigned, do hereby certify that I am a Professional Surveyor in the State of Kansas, with experience and proficiency in land surveying, and that the heretofore described property was surveyed and subdivided by me, or under my supervision, that all subdivision regulations have been complied with in the preparation of this plat, and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

Given under my hand and seal at Kansas City, Kansas this _____ day of _____, A.D., 2025.
Fieldwork for this project was complete 04-10-2024.

SMH Consultants

Matthew Lee Brenzler, P.S.



Civil Engineering • Land Surveying • Landscape Architecture
www.smhconsultants.com
Manhattan, KS • MO P: (785) 774-0044 • Dodge City, KS P: (620) 205-1952
Kansas City P: (913) 644-9515 • Colorado Springs, CO P: (719) 490-0145
Drawn By: RJC Project 2504-0111 TDS #97

Engineering Department

The proposed Avondale Meadows 3rd Plat is located in the northwest corner of 212th Street and Columbia Road. This is a continuation of the Avondale Meadows subdivision. As with previous plats, Public Improvements are necessary in the subdivision, these improvements may include public roadways, storm sewer, sanitary sewer, waterline, streetlights, and associated grading. The final plat identified the necessary easements associated with utility and public infrastructure. In order to construct these public improvements, the developer's engineer must submit a Public Improvement Permit application and associated engineering drawings. Public Improvements will need to be installed and accepted by the City prior to issuance of any building permit.

Prior to or concurrent with the submittal of the Public Improvement Plans, the developer's engineer shall apply for a Land Disturbance Permit and submit a separate set of plans. The Land Disturbance Permit will remain open throughout the duration of construction of infrastructure and residential structures.

A preliminary stormwater study was submitted in June 2022 for the Avondale Meadows development. The developer's engineer submitted a revised Stormwater Drainage Study to include the proposed development. The proposed development contains 41.69 acres. The development generally drains to the north, the flow will be captured into a detention basin and will ultimately drain into Little Bull Creek.

The homes association will be responsible for the maintenance of the detention facilities. The City has a recent practice of getting these agreements with proposed developments. Previous plats of Avondale Meadows constructed with detention ponds will require submittal of maintenance agreements. Prior to recording of Avondale Meadows 3rd Plat, any previous agreements will need to be submitted to the City for recording. Those agreements will be attached to the previous plats. In addition, the detention pond for Avondale Meadows 3rd Plat will require a detention maintenance agreement which will be recorded concurrent with the final plat.

The sanitary sewer infrastructure will include gravity mains, forcemain, and a pump station with Avondale Meadows 3rd Plat. The initial design was reviewed by the City's on-call engineer Lamp Rynearson. Comments were provided associated with the Pump Station Memo and the Sanitary Sewer plans. Prior to issuance of a Public Improvement Permit, the

developer's engineer will need to revise the engineering plans and technical memo in accordance with the City's standards.

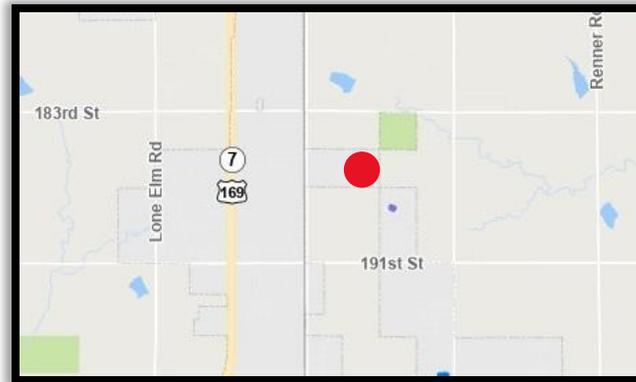
The pump station will be located in the northern portion of Avondale Meadows 3rd Plat, north of Lot 190. The area surrounding the pump station will need to include a Deed of Dedication to the City of Spring Hill. This information shall be included on the final plat prior to recording.

The Engineering Department recommends approval of this application with the following stipulations:

1. Address the plan review comments as outlined by Lamp Rynearson. Engineering will review the plans for approval prior to issuance of a construction permit.
2. Concurrent with the submittal of a Final Plat application, the developer's engineer shall submit a Public Improvement Permit application and associated engineering plans.
3. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.
4. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.
5. Prior to recording the final plat, the developer shall submit Detention Maintenance Agreements for any existing detention ponds located in previous phases of the Avondale Meadows subdivision.
6. Concurrent with the recording of the final plat, the developer shall submit a Detention Maintenance Agreement.
7. Prior to final acceptance of the Public Improvements, the developer's engineer shall submit a Detention Basin Certification.
8. Prior to issuance of any permit, Public Improvements will need to be installed in accordance with City standards and accepted by the City.

Ozark Ready-Mix

PP-25-8 – Preliminary Plat



Application Information

Location:	Approx. SE of W 183 rd Street and K-7 HWY Intersection
Applicant:	Neil Jackson <i>Ozark Ready-Mix Company, Inc.</i>
Engineer:	Mark A. Breuer, P.E. <i>Schlagel</i>
Owner:	JPKS

Project Information

Current Zoning:	M-I – General Industrial
Land Area:	(+/-) 15.11 ac (+/-) 658,404 sq. ft.
# of Lots:	117 Single-family lots 2 Tracts

Executive Summary

The applicant, Neil Jackson on behalf of the owner, JPKS, has submitted for approval a 1-lot Preliminary Plat for the Ozark Ready-Mix project. The Final Plat is being sought for approval on this same agenda under application FP-25-15.

Access onto K-7 highway can only be granted by the Kansas Department of Transportation. Staff are of the opinion that any access to K-7 on the west side of the property is unlikely to be granted.

The Final Plat was distributed to City Staff and hired consultants for review, and all outstanding substantive comments have been addressed prior to presentation. Any additional comments that may arise following approval will be addressed and resolved prior to recordation and/or final acceptance.

Staff have determined that the application meets all UZO standards and recommends approval.

SPRING HILL

KANSAS

Planning Commission
January 15, 2026



Subject Property

Additional Staff Comments:

1. Water service will be provided by Johnson County WaterOne.
 2. Sanitary sewer service will be provided by the City of Spring Hill.
-

Planning Commission Review and Action

Upon review of the preliminary plat application, the Planning Commission may, by a majority vote of those members present:

1. *Approve application*
2. *Deny application*
3. *Table the application to a specific date and notify the applicant of such action*

Final approval of the Preliminary Plat lies with Planning Commission.

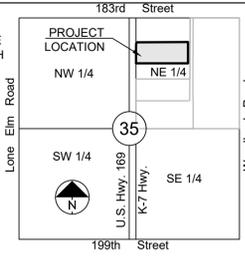
Suggested Motion:

Move to recommend approval of application PP-25-8, Ozark Ready-Mix Preliminary Plat, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

1. Preliminary Plat/Site Plan Package

BASIS OF BEARINGS:
KANSAS STATE PLANE COORDINATE
SYSTEM (NAD)1983, KANSAS, NORTH
ZONE



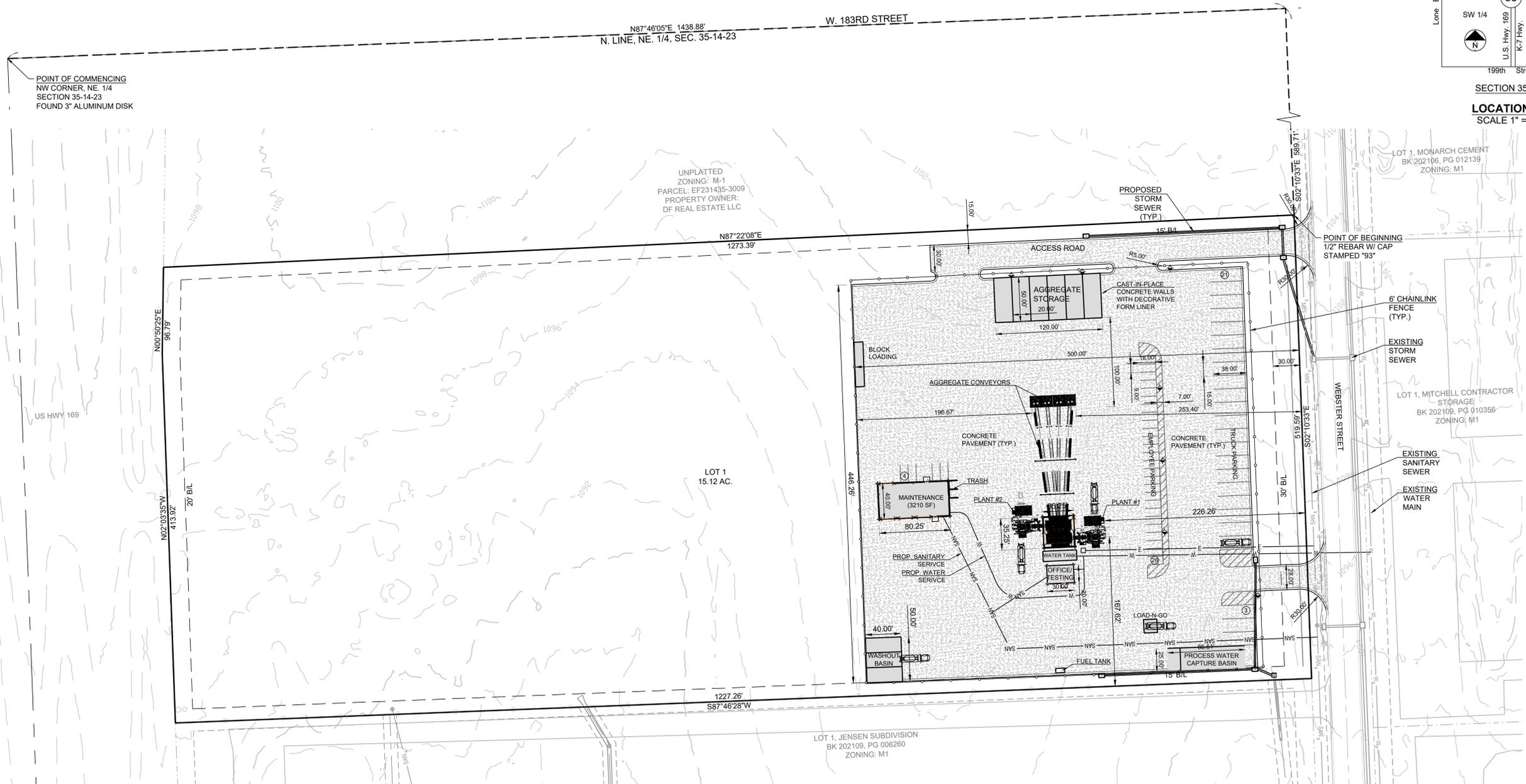
SECTION 35-14-23
LOCATION MAP
SCALE 1" = 2000'

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Kansas State Certifications of Authority
#E-296 #LA-29 #LS-54

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

OSZARK READY-MIX - SPRING HILL
PRELIMINARY PLAT
WEBSTER SPRING HILL, KANSAS



POINT OF COMMENCING
NW CORNER, NE. 1/4
SECTION 35-14-23
FOUND 3" ALUMINUM DISK

UNPLATTED
ZONING: M-1
PARCEL: EF231435-3009
PROPERTY OWNER:
DF REAL ESTATE LLC

LOT 1, MONARCH CEMENT
BK 202106, PG 012139
ZONING: M1

LOT 1, MITCHELL CONTRACTOR
STORAGE
BK 202109, PG 010356
ZONING: M1

LOT 1, JENSEN SUBDIVISION
BK 202109, PG 006260
ZONING: M1

- LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET 1/2" REBAR W/LS-54 CAP
 - EXISTING PLAT AND R/W LINES
 - EXISTING LOT AND PROPERTY LINES
 - LNA - LIMITS OF NO ACCESS
 - BL - BUILDING LINE
 - R/W - RIGHT-OF-WAY
 - UE - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - S/E - SANITARY SEWER EASEMENT
 - LNA - LIMITS OF NO ACCESS
 - BC - BACK OF CURB
 - TITLE COMMITMENT EXCEPTION #
 - ST₀ - STORM SEWER
 - SAN₀ - SANITARY SEWER MAIN
 - W₀ - WATERLINE
 - E₀ - ELECTRIC LINE
 - G₀ - GAS LINE
 - AI - AREA INLET
 - FI - FIRE HYDRANT
 - LO - LIGHT OVERHEAD
 - PE - POWER PEDESTAL
 - SM - SANITARY MANHOLE
 - WV - WATER VALVE
 - CURB & GUTTER 24" CONCRETE

DESCRIPTION: as provided in Commitment KC-C3155097

All that part of the Northeast Quarter of Section 35, Township 14 South, Range 23 East of the Sixth Principal Meridian, in the City of Spring Hill, Johnson County, Kansas, described as follows:
Commencing at the Northwest corner of the Northeast Quarter of said Section 35; thence North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 442.00 feet to the Point of Beginning; thence continuing North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 996.88 feet to a point on the Northerly prolongation of the West right-of-way line of Webster Street as it is now established; thence South 2 degrees 10 minutes 33 seconds East, along said West right-of-way line, a distance of 1109.30 feet; thence South 87 degrees 46 minutes 29 seconds West, a distance of 1279.28 feet to a point on the East right-of-way line of U.S. Highway 169 as described in Condemnation Case No. 128513, recorded in Book 1972, Page 374; thence North 2 degrees 03 minutes 35 seconds West, along said East right-of-way line, a distance of 413.92 feet; thence North 0 degrees 50 minutes 25 seconds East, along said East right-of-way line, a distance of 594.80 feet; thence North 78 degrees 24 minutes 25 seconds East, along said East right-of-way line, a distance of 253.80 feet; thence North 2 degrees 17 minutes 35 seconds West, along said East right-of-way line, a distance of 60.00 feet to the Point of Beginning, subject to that part in roads, easements and reservations of record, also known as Tract A of Certificate of Survey recorded December 9, 2020 as Document No. 20201209-0004205 in Book 202012 at Page 004205.

EXCEPT:

All that part of the Northeast Quarter of Section 35, Township 14 South, Range 23 East of the Sixth Principal Meridian, in the City of Spring Hill, Johnson County, Kansas, described as follows:
Commencing at the Northwest corner of the Northeast Quarter of said Section 35; thence North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 442.00 feet to the Point of Beginning; thence continuing North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 996.88 feet to a point on the Northerly prolongation of the West right-of-way line of Webster Street as it is now established; thence South 2 degrees 10 minutes 33 seconds East, along said West right-of-way line, a distance of 589.71 feet; thence South 87 degrees 22 minutes 08 seconds West, a distance of 1273.38 feet to a point on the East right-of-way line of U.S. Highway 169 as described in Condemnation Case No. 128513, recorded in Book 1972, Page 374; thence North 0 degrees 50 minutes 25 seconds East, along said East right-of-way line, a distance of 498.02 feet; thence North 78 degrees 24 minutes 25 seconds East, along said East right-of-way line, a distance of 253.80 feet; thence North 2 degrees 17 minutes 35 seconds West, along said East right-of-way line, a distance of 60.00 feet to the Point of Beginning.

PROJECT INFORMATION:

EXISTING ZONING	M-1
PROPOSED ZONING	M-1
EXISTING USE	VACANT
FUTURE LAND USE DESIGNATION	INDUSTRIAL
PROPOSED USE	CONCRETE READY MIX PLANT
GROSS SITE AREA	15.12 AC (658,404.12 S.F.)
NUMBER OF LOTS	1
MINIMUM FRONT SETBACK ALLOWED BY CODE	30 FT.
MINIMUM FRONT SETBACK PROPOSED	30 FT.
MINIMUM INTERIOR SIDE SETBACK ALLOWED BY CODE	15 FT.
MINIMUM INTERIOR SIDE SETBACK PROPOSED	15 FT.
MINIMUM REAR SETBACK ALLOWED BY CODE	20 FT.
MINIMUM REAR SETBACK PROPOSED	20 FT.
MAXIMUM BUILDING HEIGHT ALLOWED BY CODE	55 FT.
MAXIMUM BUILDING HEIGHT PROPOSED	55 FT.
CEMENT SILO HEIGHT PROPOSED	87 FT.

PROPOSED BUILDING FOOTPRINT AREA:

PLANT	1243 S.F.
BATCH OFFICE	600 S.F.
MAINTENANCE BUILDING	3210 S.F.
TOTAL	5,053 S.F.

REQUIRED PARKING 10 (1 SPACE PER 500 S.F.)
PROPOSED PARKING 30 EMPLOYEE / 24 TRUCKS

PROPERTY OWNER:
JPKS ENTERPRISES LLC
174 W STAVE MILL RD
ROGERS, AR 72756

DEVELOPER:
OSZARK READY-MIX COMPANY, INC.
NEIL JACKSON
4400 COLLEGE BOULEVARD
OVERLAND PARK, KS 66211
p (816) 795-6050
NJACKSON@OSZARKREADYMIX.COM

ENGINEER:
SCHLAGEL
MARK A. BREUER, P.E.
14920 W 107TH ST
LENEXA, KS 66215
p (913) 492-5158
COMMENTS@SCHLAGELASSOCIATES.COM

SURVEYOR:
SCHLAGEL
AARON REUTER
14920 W 107TH ST
LENEXA, KS 66215
p (913) 492-5158
COMMENTS@SCHLAGELASSOCIATES.COM

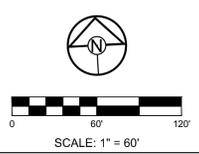
INFORMATIONAL NOTES:

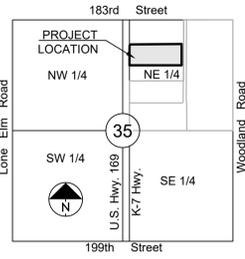
- FEMA Floodplain information obtained from FIRM Panel Number 20091C0123G, Revised August, 2009 (No flood hazard zone shown on site)
- Utilities:
Electric - Eversgy
Gas - Atmos Energy
Sanitary Sewer - City of Spring Hill
Water - WaterOne
- Traffic:
8 Cement delivery trucks per day (16 total daily trips)
41 Material/aggregate delivery trucks per day (82 total daily trips)
86 Concrete delivery trucks per day (172 total trips max)
30 employees trips (60 total daily trips)
Estimated Total Max. Daily Vehicle Trips: 330
Estimated Peak Hour Trips: 50
- Lighting: See submitted photometric plan
- A site specific Stormwater Pollution Prevention Plan (SWPPP) and Land Disturbance Permit shall be prepared and submitted to KDHE for approval prior to land disturbance activities. Erosion and Sediment control devices shall be installed and maintained per the SWPPP.

REVISION DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLAT

SITE PLAN

SHEET
P1





SECTION 35-14-23

LOCATION MAP
SCALE 1" = 2000'

BASIS OF BEARINGS:
KANSAS STATE PLANE COORDINATE SYSTEM (NAD)1983, KANSAS, NORTH ZONE

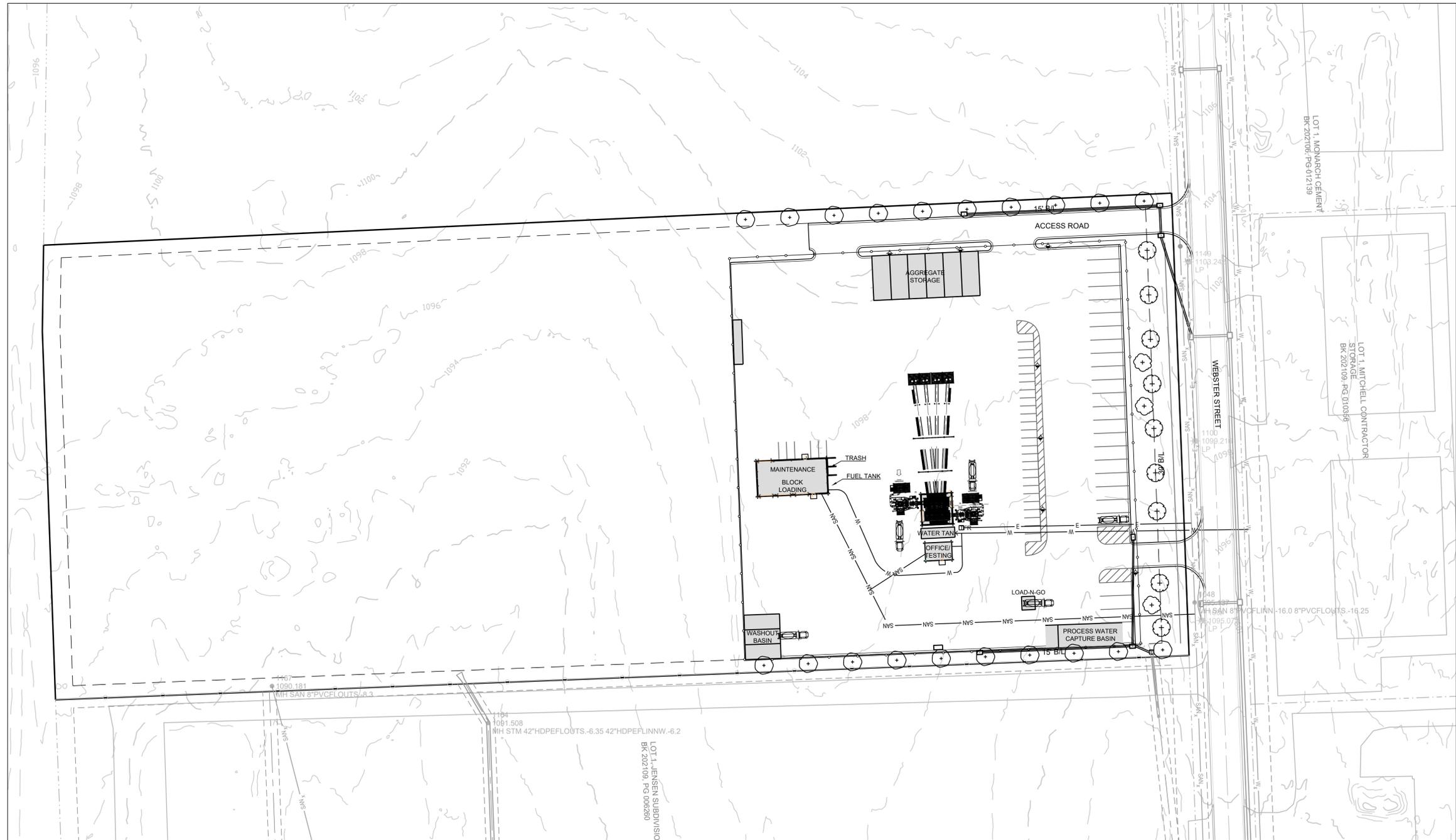


SCALE: 1" = 60'

BASIS OF BEARINGS:
Kansas State Plane Coordinate System (NAD)1983, Kansas, North Zone.

LEGEND:

- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR W/LS-54 CAP
- EXISTING PLAT AND RW LINES
- EXISTING LOT AND PROPERTY LINES
- LNA - LIMITS OF NO ACCESS
- BL - BUILDING LINE
- R/W - RIGHT-OF-WAY
- U/E - UTILITY EASEMENT
- W/E - WATERLINE EASEMENT
- S/E - SANITARY SEWER EASEMENT
- LNA - LIMITS OF NO ACCESS
- BC - BACK OF CURB
- TITLE COMMITMENT EXCEPTION #
- STG_s - STORM SEWER
- SAN_s - SANITARY SEWER MAIN
- W_s - WATERLINE
- E_s - ELECTRIC LINE
- G_s - GAS LINE
- AREA INLET
- ⊙ FIRE HYDRANT
- ⊙ LIGHT OVERHEAD
- ⊙ POWER PEDESTAL
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- CURB & GUTTER 24" CONCRETE



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES					
⊕	QS	9	QUERCUS SHUMARDII / SHUMARD OAK	2.5" CAL.	B&B
⊕	TE	20	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	2.5" CAL.	B&B
FLOWERING TREES					
⊕	SRI	3	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	8' HT.	B&B

LANDSCAPE DATA

ZONING
SITE ZONING: M-1
ADJACENT ZONING NORTH AND SOUTH: M-1
ADJACENT USE EAST AND WEST: ROADS

FRONTAGE TREES SECTION 17.358.D.1
WEBSTER STREET FRONTAGE SHADE TREES REQUIRED (1 TREE PER 50')(454.07/50') 9 TREES
WEBSTER STREET FRONTAGE SHADE TREES PROVIDED 9 TREES

LANDSCAPE OPEN SPACE TREES SECTION 17.358.D.2
ONLY REQUIRED FOR AG-C-2 N/A

PERIMETER LANDSCAPE SECTION 17.358.D.3
NORTH BNDY. TREES REQ. IF NO BUFFER REQ. PER SECTION 17.360 THEN 1 TREE PER 50'(501.41/50') 10 TREES
NORTH BNDY. PERIMETER TREES PROVIDED 10 TREES
SOUTH BNDY. TREES REQ. IF NO BUFFER REQ. PER SECTION 17.360 THEN 1 TREE PER 50'(500.98/50') 10 TREES
SOUTH BNDY. PERIMETER TREES PROVIDED 10 TREES

PARKING LOT LANDSCAPE SECTION 17.358.D.4
LANDSCAPE REQUIRED 1 TREE PER 20 SPACES PLUS GRASS OR SHRUBS(54 SPACES/20) 3 TREES
LANDSCAPE PROVIDED 3 TREES/GRASS

STREET TREES SECTION 17.358.G.1
SINCE FRONTAGE TREES REQ. NO STREET TREES REQ. N/A

BUFFER SCREENING LANDSCAPE SECTION 17.360.G
ADJACENT TO ROADS AND SAME ZONING SO NO BUFFER SCREEN REQ. BUILDINGS PROVIDE SCREEN TO INTERIOR OF SITE N/A

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**OSZARK READY MIX - SPRING HILL
SITE PLAN
WEBSTER SPRING HILL, KANSAS**

REVISION DATE	DESCRIPTION
10/20/2025	SITE PLAN

LANDSCAPE PLAN

SHEET
L1

Ozark Ready-Mix
 FP-25-15 – Final Plat



Application Information

Location:	Approx. SE of W 183 rd Street and K-7 HWY Intersection
Applicant:	Neil Jackson <i>Ozark Ready-Mix Company, Inc.</i>
Engineer:	Mark A. Breuer, P.E. <i>Schlagel</i>
Owner:	JPKS

Project Information

Current Zoning:	M-I – General Industrial
Land Area:	(+/-) 15.11 ac (+/-) 658,404 sq. ft.
# of Lots:	117 Single-family lots 2 Tracts

Executive Summary

The applicant, Neil Jackson on behalf of the owner, JPKS, has submitted for approval of a 1-lot Final Plat for the Ozark Ready-Mix project. The Preliminary Plat is seeking approval concurrently as part of the Preliminary Plat/Preliminary Development Plan application under case number PP-25-8.

There are no changes in lot layout, count, or sizing between the concurrent Preliminary Plat and the Final Plat under consideration. Access onto K-7 highway can only be granted by the Kansas Department of Transportation. Staff are of the opinion that any access to K-7 on the west side of the property is unlikely to be granted.

The Final Plat was distributed to City Staff and hired consultants for review, and all outstanding substantive comments have been addressed prior to presentation. Any additional comments that may arise following approval will be addressed and resolved prior to recordation and/or final acceptance.

Staff have determined that the application meets all UZO standards and recommends approval.

SPRING HILL

KANSAS

Planning Commission
January 15, 2026



Subject Property

Additional Staff Comments:

1. Any outstanding excise tax must be paid in full prior to final acceptance of the plat.
2. Water service will be provided by Johnson County WaterOne.
3. Sanitary sewer service will be provided by the City of Spring Hill.

Planning Commission Review and Action

Upon review of the site plan application, the Planning Commission may, by a majority vote of those members present:

1. *Recommend approval of the application to the Governing Body*
2. *Recommend denial of the application to the Governing Body, and notify the applicant of such action, or*
3. *Table the application to a specific date and notify the applicant of such action*

This case will be presented to the Governing Body February 12, 2026.

Suggested Motion:

Move to recommend approval of application FP-25-15, Ozark Ready-Mix Final Plat, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

1. Final Plat

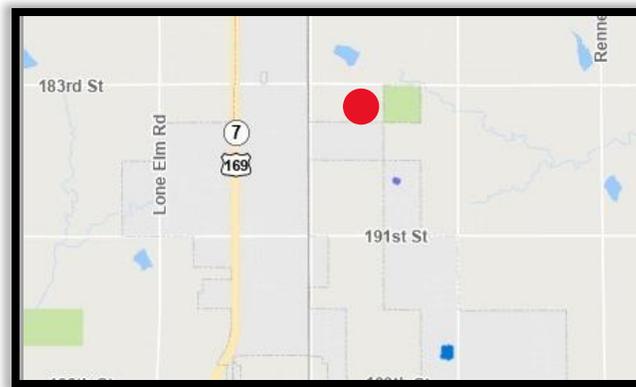
SPRING HILL

KANSAS

Planning Commission
January 15, 2026

Ozark Ready Mix

SP-25-10/CU-25-3 – Site Plan w/ Conditional Use



Application Information

Location:	W 185 th and Webster St.
Applicant:	Neil Jackson <i>Ozark Ready-Mix Company, Inc.</i>
Engineer:	Mark A. Breuer, PD <i>Schlagel</i>
Owner:	JPKS Enterprises, LLC

Project Information

Zoning:	M-1 (General Industrial)
Land Area:	+/- 15.11 ac +/- 658,399 sq. ft.
Building Area:	+/- 5,053 sq. ft.
# of Lots:	1

Executive Summary

The applicant, Neil Jackson of the Ozark Ready-Mix Company, has submitted for site plan and conditional use approval of a new concrete batch facility located South/South-west of the W 185th Street and Webster Street intersection. The proposed facility is approximately 5,000 square feet in size.

The subject property is currently zoned M-1 General Industrial District, and the proposed use is permitted with conditional use. Staff analysis finds that the proposed use is compatible with the surrounding land uses and is consistent with the goals and objectives of the Spring Hill Comprehensive Plan and Future Land Use plan for this subject property.

The project does not seek any modifications from underlying district standards and is compliant with the development and subdivision standards of the Unified Zoning Ordinance.

Staff recommend approval of the application, subject to conditions detailed at the end of the staff report.

Staff Review

Staff have reviewed the site plan under the requirements of Section 17.340 of the Spring Hill Zoning Ordinance. The following sections detail each overarching area of review and relevant notes.

Adjacent Zoning & Neighborhood Compatibility

The area surrounding the subject property is characterized by predominantly heavy industrial and medium commercial land uses.

The property to the Northeast across Webster Street is developed as a cement batch plant, while the properties to the south and east are industrial-commercial land uses, such as contractor storage and manufacturing. The property to the north is undeveloped, and to the west is KDOT right-of-way for K-7 HWY.

Adjacent Zoning

North:	M-1 (General Industrial)
East:	M-1 <i>(Across Webster St.)</i>
South:	M-1
West:	None (KDOT K-7 R/W)

Zoning Code

The subject application complies with all standards of the Zoning Code and associated development standards. As a conditional use, public hearing and additional consideration is required to permit the proposed use on the subject property.

Subdivision Regulations

The layout of the subject property complies with the adopted subdivision regulations as well as all associated easement, right-of-way, and access management policies and regulations. Determination of access onto KDOT right-of-way is determined at the sole discretion of KDOT and its assignees. At this time, staff does not have reason to believe that KDOT would be amenable to permitting limited access onto the K-7 highway from the subject property.

Comprehensive Plan

The subject property is identified for industrial land uses on the Future Land Use Plan. The proposed land use is squarely considered the archetypal land use for this designation and therefore meets the goals of the future land use designation for this property.

Engineering Standards

The project has been designed by licensed architects, engineers, and/or surveyors hired by the applicant in compliance with requirements established by the Zoning Code.

Traffic Impact

The project has a relatively low traffic impact in terms of volume. Consequently, engineering staff determined that a traffic impact study was not necessary for this project. Estimates from the developer's engineer place peak hourly trips at 50, with an estimated maximum daily trip count of 330. The proposed access spacing and internal drives can accommodate this demand, and additional public improvements to the right-of-way or public roads is not necessary.

Additional Review Criteria

Landscaping and Buffering – Pursuant to SMHC 17.360, landscaped impact buffering is not required between adjoining land uses of the same zoning district or similar land uses. As this property is surrounded by M-1 zoning districts, the property will only be required to meet base landscaping requirements for new developments.

Easements

The minimum easement requirements for the city and subject locations will be addressed. Additional easements may be required and addressed during the infrastructure construction design process preceding issuance of building permits.

Conditions of Approval

Engineering

1. Address the plan review comments as outlined by the Engineering Department, dated 12/31/25. Engineering will review the plans for approval prior to issuance of a construction permit.
2. Concurrent with the site plan submittal, submit a separate Public Improvement Permit and associated engineering drawings. The public improvements must be installed and accepted by the City prior to the issuance of temporary certificate of occupancy.
3. Concurrent with the site plan submittal, submit a revised Final Stormwater Study, including the impact of the proposed development on the existing detention basin.
4. Concurrent with the plan submittal, provide additional details associated with the Aggregate Storage area.
5. Concurrent with the plan submittal, provide additional details associated with the Washout Basin area.
6. Concurrent with the plan submittal, provide additional details associated with the Process Water Capture Basin area.
7. Concurrent with the plan submittal, provide additional details associated with the Fuel Tank area.

8. Prior to issuance of a permit, submit a copy of the Industrial Stormwater Pollution Prevention Plan outlining the long-term operations and maintenance of the industrial site.

9. Prior to issuance of a permit, provide a copy of the signed permit from KDHE approving the Industrial Stormwater Permit.

10. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.

11. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.

Planning Commission Review and Action

Upon review of the site plan application, the Planning Commission may, by a majority vote of those members present:

1. *Recommend approval of the application to the Governing Body*
2. *Recommend denial of the application to the Governing Body, and notify the applicant of such action, or*
3. *Table the application to a specific date and notify the applicant of such action*

This case will be presented to the Governing Body on February 12, 2026.

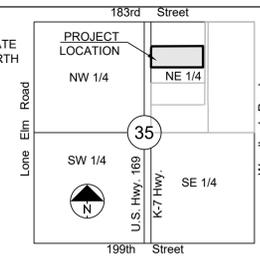
Suggested Motion:

Move to recommend approval of application SP-25-10/CU-25-3, Site Plan w/ Conditional Use, Ozark Ready-Mix, to the Spring Hill Governing Body, including any conditions as presented in the staff report.

Attachments:

1. Civil Set
2. Engineering Staff Report

BASIS OF BEARINGS:
KANSAS STATE PLANE COORDINATE
SYSTEM (NAD)1983, KANSAS, NORTH
ZONE



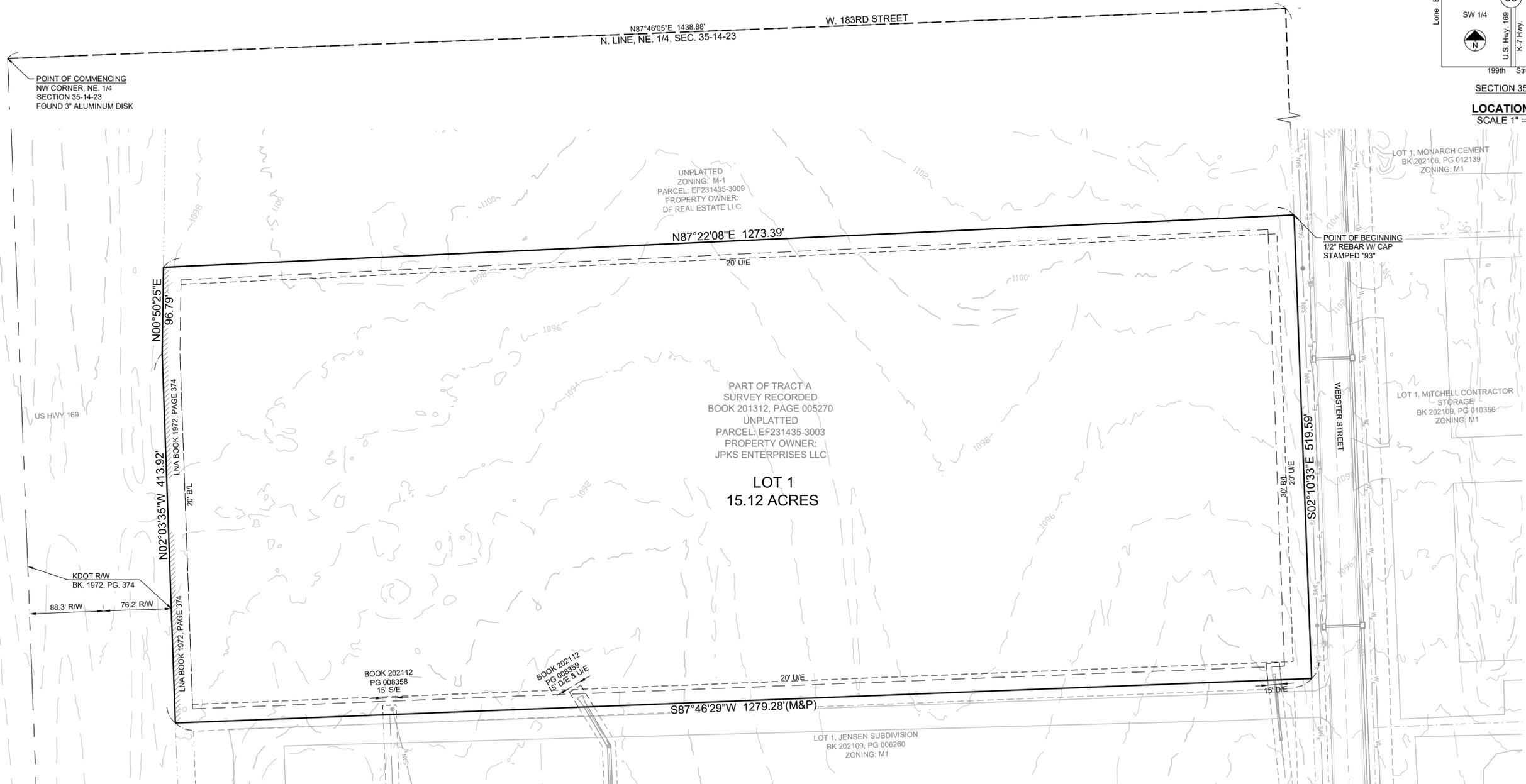
SECTION 35-14-23
LOCATION MAP
SCALE 1" = 2000'

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Kansas State Certificates of Authority
#E-296 #LA-29 #LS-54

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

OSZARK READY-MIX - SPRING HILL
PRELIMINARY PLAT
WEBSTER SPRING HILL, KANSAS



POINT OF COMMENCING
NW CORNER, NE. 1/4
SECTION 35-14-23
FOUND 3" ALUMINUM DISK

UNPLATTED
ZONING: M-1
PARCEL: EF231435-3009
PROPERTY OWNER:
DF REAL ESTATE LLC

PART OF TRACT A
SURVEY RECORDED
BOOK 201312, PAGE 005270
UNPLATTED
PARCEL: EF231435-3003
PROPERTY OWNER:
JKPS ENTERPRISES LLC

LOT 1
15.12 ACRES

POINT OF BEGINNING
1/2" REBAR W/ CAP
STAMPED "93"

LOT 1, MONARCH CEMENT
BK 202106, PG 012139
ZONING: M1

LOT 1, MITCHELL CONTRACTOR
STORAGE
BK 202109, PG 010356
ZONING: M1

LOT 1, JENSEN SUBDIVISION
BK 202109, PG 006260
ZONING: M1

- LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET 1/2" REBAR W/LS-54 CAP
 - EXISTING PLAT AND R/W LINES
 - EXISTING LOT AND PROPERTY LINES
 - LNA - LIMITS OF NO ACCESS
 - BL - BUILDING LINE
 - R/W - RIGHT-OF-WAY
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - S/E - SANITARY SEWER EASEMENT
 - LNA - LIMITS OF NO ACCESS
 - BC - BACK OF CURB
 - TITLE COMMITMENT EXCEPTION #
 - STORM SEWER
 - SANITARY SEWER MAIN
 - WATERLINE
 - ELECTRIC LINE
 - GAS LINE
 - AI - AREA INLET
 - FD - FIRE HYDRANT
 - LO - LIGHT OVERHEAD
 - PP - POWER PEDESTAL
 - SM - SANITARY MANHOLE
 - WV - WATER VALVE
 - CURB & GUTTER 24" CONCRETE

DESCRIPTION:

Part of Tract "A", of the Certificate of Survey recorded as document No. 20201209-0004205, lying in the West one half of the Northeast Quarter of Section 35, Township 14 South, Range 23 East, in the City of Spring Hill, Johnson County, Kansas, as described by Aaron T. Reuter, Kansas PS-1429, of Schlagel, Kansas LS-54, on October 10, 2025, as follows:

Commencing at the Northwest corner of the Northeast Quarter of said Section 35; thence along the North line of the Northeast Quarter of said Section 35, North 87 degrees 46 minutes 05 seconds East, a distance of 1438.88 feet to a point on the Northerly prolongation of the West right-of-way line of Webster Street as it is now established; thence along said West right-of-way line and the East line of said Tract "A", South 02 degrees 10 minutes 33 seconds East, a distance of 589.71 feet to the Point of Beginning; thence continuing along said East line of said Tract "A", South 02 degrees 10 minutes 33 seconds East, a distance of 519.59 feet to the Southeast corner of said Tract "A", said point also being the Northeast corner of Lot 1, JENSEN SUBDIVISION, a subdivision in the City of Spring Hill as recorded in Book 202109 at Page 006260, Johnson County, Kansas; thence along the South line of said Tract "A" and the North line of said Lot 1, South 87 degrees 46 minutes 29 seconds West, a distance of 1279.28 feet to the Southwest corner of said Tract "A", said point also being the Northwest corner of said Lot 1, said point also being on the East right-of-way line of U.S. Highway 169 as established in Condemnation Case No. 128513, and recorded in Book 1972, Page 374; thence along the West line of said Tract "A" and said East right-of-way line, North 02 degrees 03 minutes 35 seconds West, a distance of 413.92 feet; thence continuing along the West line of said Tract "A", North 00 degrees 50 minutes 25 seconds East, a distance of 96.79 feet; thence North 87 degrees 22 minutes 08 seconds East, a distance of 1273.39 feet to the Point of Beginning, and containing 15.11 acres, more or less.

PROJECT INFORMATION:

EXISTING ZONING	M-1
PROPOSED ZONING	M-1
EXISTING USE	VACANT
FUTURE LAND USE DESIGNATION	INDUSTRIAL
PROPOSED USE	CONCRETE READY MIX PLANT
GROSS SITE AREA	15.12 AC (658,404.12 S.F.)
NUMBER OF LOTS	1
MINIMUM FRONT SETBACK ALLOWED BY CODE	30 FT.
MINIMUM FRONT SETBACK PROPOSED	30 FT.
MINIMUM INTERIOR SIDE SETBACK ALLOWED BY CODE	15 FT.
MINIMUM INTERIOR SIDE SETBACK PROPOSED	15 FT.
MINIMUM REAR SETBACK ALLOWED BY CODE	20 FT.
MINIMUM REAR SETBACK PROPOSED	20 FT.
MAXIMUM BUILDING HEIGHT ALLOWED BY CODE	55 FT.
MAXIMUM BUILDING HEIGHT PROPOSED	55 FT.
CEMENT SILO HEIGHT PROPOSED	87 FT.
PROPOSED BUILDING FOOTPRINT AREA:	
PLANT	1243 S.F.
BATCH OFFICE	600 S.F.
MAINTENANCE BUILDING	3210 S.F.
	TOTAL: 5,053 S.F.
REQUIRED PARKING	10 (1 SPACE PER 500 S.F.)
PROPOSED PARKING	30 EMPLOYEE / 24 TRUCKS

- INFORMATIONAL NOTES:**
- FEMA Floodplain information obtained from FIRM Panel Number 20091C0123G, Revised August, 2009 (No flood hazard zone shown on site)
 - Utilities:
 - Electric - Evergy
 - Gas - Atmos Energy
 - Sanitary Sewer - City of Spring Hill
 - Water - WaterOne
 - Traffic:
 - 8 Cement delivery trucks per day (16 total daily trips)
 - 41 Material/aggregate delivery trucks per day (82 total daily trips)
 - 86 Concrete delivery trucks per day (172 total trips max)
 - 30 employee trips (60 total daily trips)
 - Estimated Total Max. Daily Vehicle Trips: 330
 - Estimated Peak Hour Trips: 50
 - Lighting: See submitted photometric plan
 - A site specific Stormwater Pollution Prevention Plan (SWPPP) and Land Disturbance Permit shall be prepared and submitted to KDHE for approval prior to land disturbance activities. Erosion and Sediment control devices shall be installed and maintained per the SWPPP.

DEVELOPER:
OSZARK READY-MIX COMPANY, INC.
NEIL JACKSON
4400 COLLEGE BOULEVARD
OVERLAND PARK, KS 66211
p (816) 795-6050
NJACKSON@OSZARKREADYMIX.COM

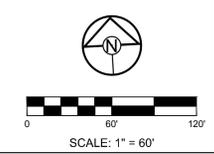
PROPERTY OWNER:
JKPS ENTERPRISES LLC
174 W STAVE MILL RD
ROGERS, AR 72756

ENGINEER:
SCHLAGEL
MARK A. BREUER, P.E.
14920 W 107TH ST
LENEXA, KS 66215
p (913) 492-5158
COMMENTS@SCHLAGELASSOCIATES.COM

SURVEYOR:
SCHLAGEL
AARON REUTER
14920 W 107TH ST
LENEXA, KS 66215
p (913) 492-5158
COMMENTS@SCHLAGELASSOCIATES.COM

REVISION DATE	DESCRIPTION
10/24/2025	PRELIMINARY PLAT

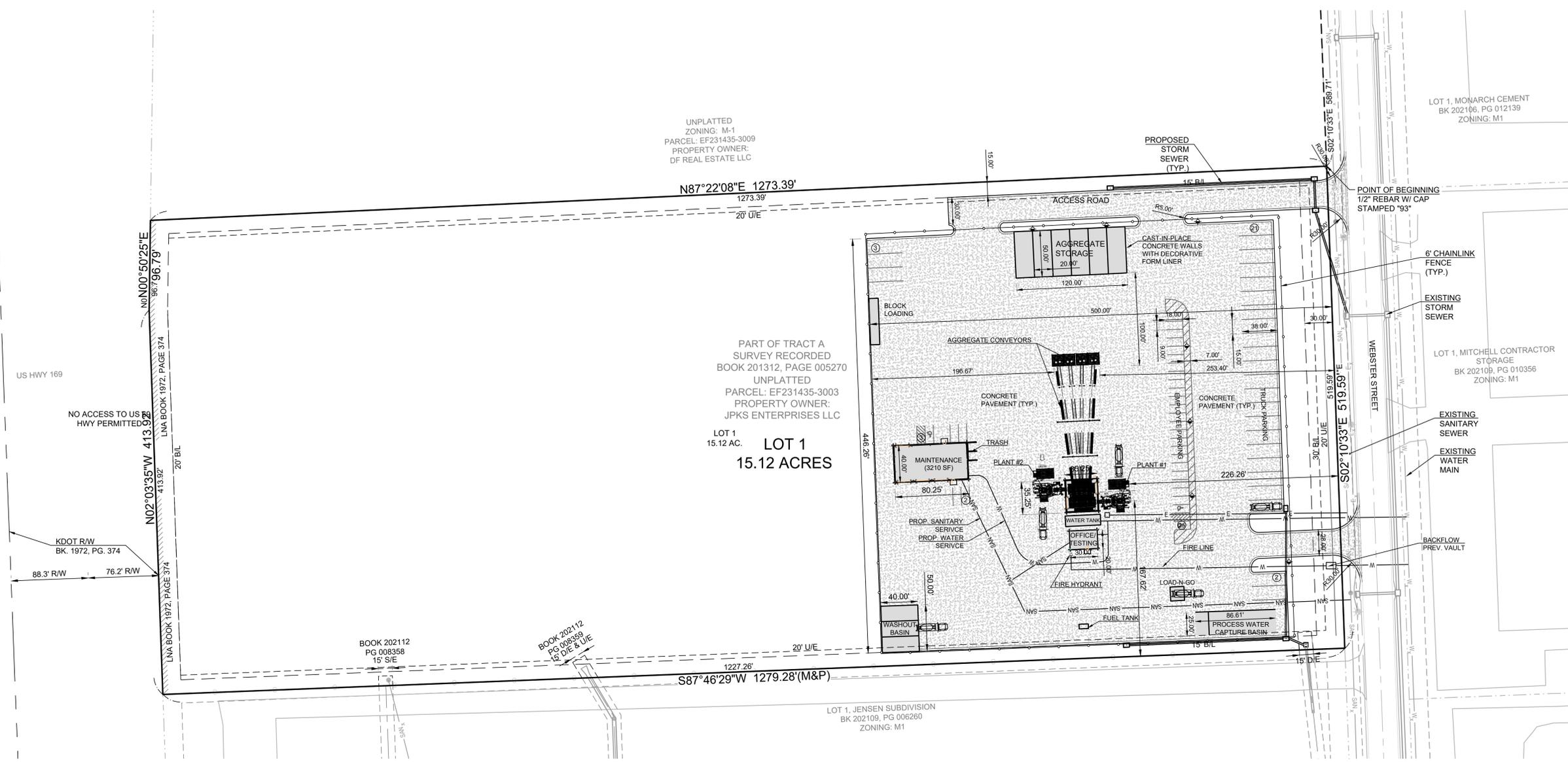
PRELIMINARY PLAT
SHEET
P1



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

OSZARK READY MIX - SPRING HILL
 SITE PLAN
 WEBSTER SPRING HILL, KANSAS



UNPLATTED
 ZONING: M-1
 PARCEL: EF231435-3009
 PROPERTY OWNER:
 DF REAL ESTATE LLC

PART OF TRACT A
 SURVEY RECORDED
 BOOK 201312, PAGE 005270
 UNPLATTED
 PARCEL: EF231435-3003
 PROPERTY OWNER:
 JKPS ENTERPRISES LLC

LOT 1
 15.12 AC. LOT 1
 15.12 ACRES

- LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET 1/2" REBAR W/LS-54 CAP
 - EXISTING PLAT AND R/W LINES
 - - - - EXISTING LOT AND PROPERTY LINES
 - LNA - LIMITS OF NO ACCESS
 - BL - BUILDING LINE
 - R/W - RIGHT-OF-WAY
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - S/E - SANITARY SEWER EASEMENT
 - LNA - LIMITS OF NO ACCESS
 - BC - BACK OF CURB
 - TITLE COMMITMENT EXCEPTION #
 - STO - STORM SEWER
 - SAN - SANITARY SEWER MAIN
 - W - WATERLINE
 - E - ELECTRIC LINE
 - G - GAS LINE
 - AI - AREA INLET
 - ⚡ FIRE HYDRANT
 - ☀ LIGHT OVERHEAD
 - Ⓜ POWER PEDESTAL
 - Ⓜ SANITARY MANHOLE
 - Ⓜ WATER VALVE
 - CURB & GUTTER 24" CONCRETE

DESCRIPTION: as provided in Commitment KC-C3155097

All that part of the Northeast Quarter of Section 35, Township 14 South, Range 23 East of the Sixth Principal Meridian, in the City of Spring Hill, Johnson County, Kansas, described as follows:
 Commencing at the Northwest corner of the Northeast Quarter of said Section 35; thence North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 442.00 feet to the Point of Beginning; thence continuing North 87 degrees 46 minutes 05 seconds East, along the North line of the Northeast Quarter of said Section 35, a distance of 996.88 feet to a point on the Northerly prolongation of the West right-of-way line of Webster Street as it is now established; thence South 2 degrees 10 minutes 33 seconds East, along said West right-of-way line, a distance of 1109.30 feet; thence South 87 degrees 46 minutes 29 seconds West, a distance of 1279.28 feet to a point on the East right-of-way line of U.S. Highway 169 as described in Condemnation Case No. 128513, recorded in Book 1972, Page 374; thence North 2 degrees 03 minutes 35 seconds West, along said East right-of-way line, a distance of 413.92 feet; thence North 0 degrees 50 minutes 25 seconds East, along said East right-of-way line, a distance of 594.80 feet; thence North 78 degrees 24 minutes 25 seconds East, along said East right-of-way line, a distance of 253.80 feet; thence North 2 degrees 17 minutes 35 seconds West, along said East right-of-way line, a distance of 60.00 feet to the Point of Beginning, subject to that part in roads, easements and reservations of record, also known as Tract A of Certificate of Survey recorded December 9, 2020 as Document No. 20201209-0004205 in Book 202012 at Page 004205.

EXCEPT:
 All that part of the Northeast Quarter of Section 35, Township 14 South, Range 23 East of the Sixth Principal Meridian, in the City of Spring Hill, Johnson County, Kansas, described as follows:
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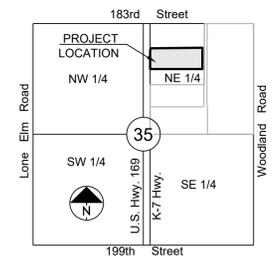
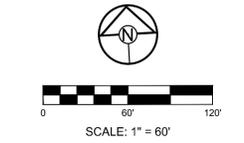
PROJECT INFORMATION:

EXISTING ZONING	M-1
PROPOSED ZONING	M-1
EXISTING USE	VACANT
FUTURE LAND USE DESIGNATION	INDUSTRIAL
PROPOSED USE	CONCRETE READY MIX PLANT
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CEMENT SILO HEIGHT PROPOSED	87 FT.
PROPOSED BUILDING FOOTPRINT AREA:	
PLANT	1243 S.F.
BATCH OFFICE	600 S.F.
MAINTENANCE BUILDING	3210 S.F.
	TOTAL: 5,053 S.F.
REQUIRED PARKING	
PROPOSED PARKING	10 (1 SPACE PER 500 S.F.) 30 EMPLOYEE / 24 TRUCKS

- INFORMATIONAL NOTES:**
- FEMA Floodplain information obtained from FIRM Panel Number 20091C0123G, Revised August, 2009 (No flood hazard zone shown on site)
 - Utilities:
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 - Gas - Atmos Energy
 - Sanitary Sewer - City of Spring Hill
 - Water - WaterOne
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 - 86 Concrete delivery trucks per day (172 total trips max)
 - 30 employee trips (60 total daily trips)
 - Estimated Total Max. Daily Vehicle Trips: 330
 - Estimated Peak Hour Trips: 50
 - Lighting: See submitted photometric plan
 - A site specific Stormwater Pollution Prevention Plan (SWPPP) and Land Disturbance Permit shall be prepared and submitted to KDHE for approval prior to land disturbance activities. Erosion and Sediment control devices shall be installed and maintained per the SWPPP.

PROPERTY OWNER:
 JKPS ENTERPRISES LLC
 174 W STAVE MILL RD
 ROGERS, AR 72756

DEVELOPER:
 OSZARK READY- MIX COMPANY, INC
 4400 COLLEGE BLVD, SUITE 240
 OVERLAND PARK, KANSAS 66211
 816-795-6050



SECTION 35-14-23
LOCATION MAP
 SCALE 1" = 2000'

BASIS OF BEARINGS:
 KANSAS STATE PLANE COORDINATE
 SYSTEM (NAD)1983, KANSAS, NORTH
 ZONE

REVISION DATE	DESCRIPTION
10/20/2025	SITE PLAN

DRAWN BY:	SCH
CHECKED BY:	SCH
DATE PREPARED:	10/20/2025
PROJ. NUMBER:	25-155

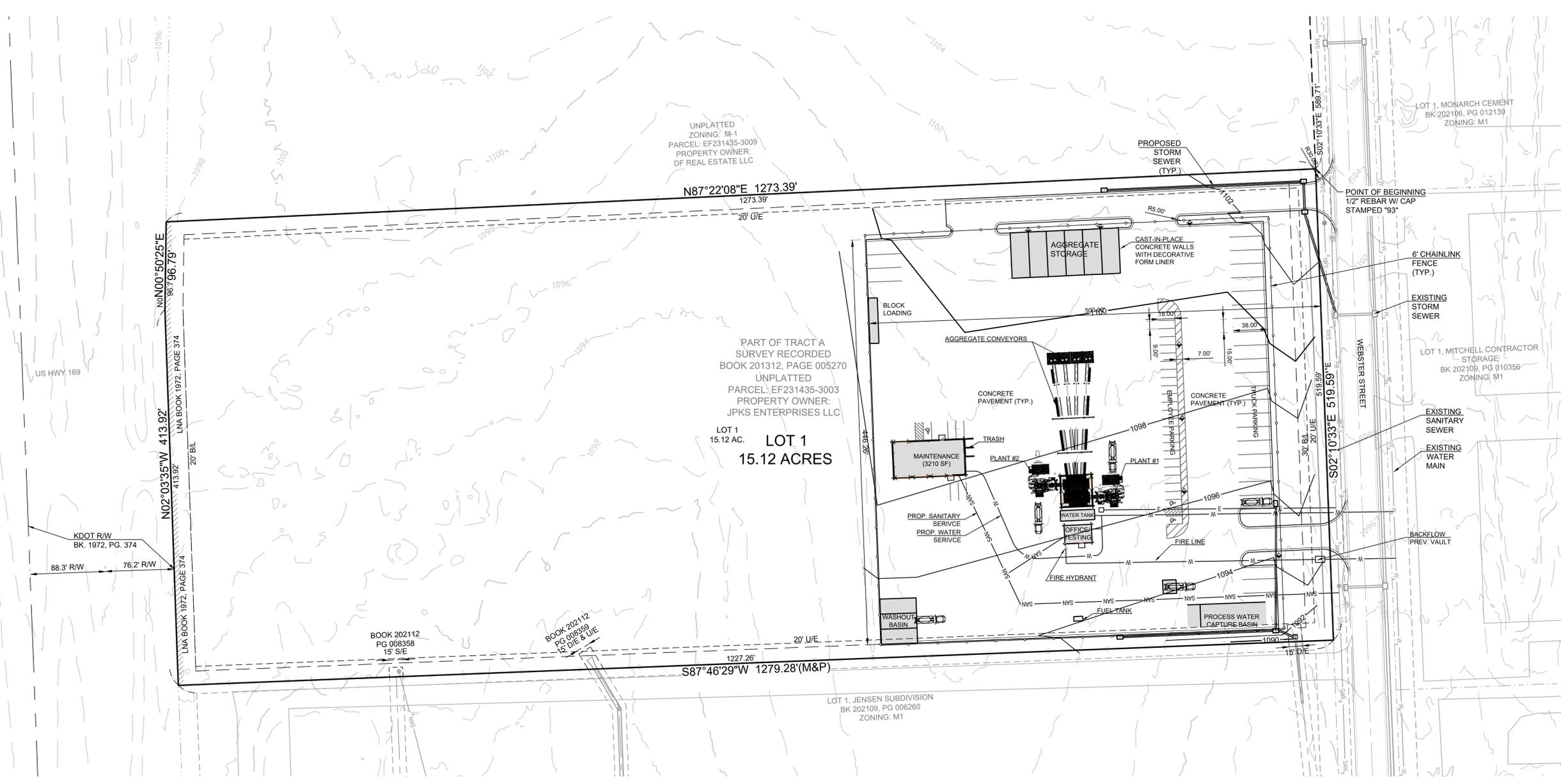
SITE PLAN

SHEET
C1

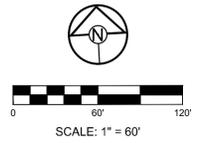
PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

OSZARK READY MIX - SPRING HILL
 SITE PLAN
 WEBSTER SPRING HILL, KANSAS



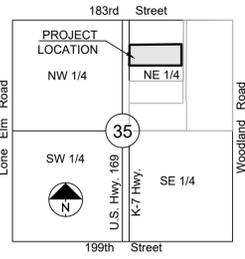
- LEGEND:**
- FOUND MONUMENT AS NOTED
 - SET 1/2" REBAR W/LS-54 CAP
 - EXISTING PLAT AND R/W LINES
 - EXISTING LOT AND PROPERTY LINES
 - LNA - LIMITS OF NO ACCESS
 - BL - BUILDING LINE
 - R/W - RIGHT-OF-WAY
 - U/E - UTILITY EASEMENT
 - W/E - WATERLINE EASEMENT
 - S/E - SANITARY SEWER EASEMENT
 - LNA - LIMITS OF NO ACCESS
 - BC - BACK OF CURB
 - TITLE COMMITMENT EXCEPTION #
 - STO_s - STORM SEWER
 - SAN_s - SANITARY SEWER MAIN
 - W_s - WATERLINE
 - E_s - ELECTRIC LINE
 - G_s - GAS LINE
 - AI - AREA INLET
 - ▲ FIRE HYDRANT
 - ☼ LIGHT OVERHEAD
 - Ⓜ POWER PEDESTAL
 - SANITARY MANHOLE
 - ⊗ WATER VALVE
 - CURB & GUTTER 24" CONCRETE



REVISION DATE	DESCRIPTION
10/20/2025	SITE PLAN
▲	▲
▲	▲
▲	▲
▲	▲
▲	▲
▲	▲
▲	▲
▲	▲
▲	▲

GRADING PLAN

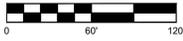
SHEET
C2



SECTION 35-14-23

LOCATION MAP
SCALE 1" = 2000'

BASIS OF BEARINGS:
KANSAS STATE PLANE COORDINATE SYSTEM (NAD)1983, KANSAS, NORTH ZONE

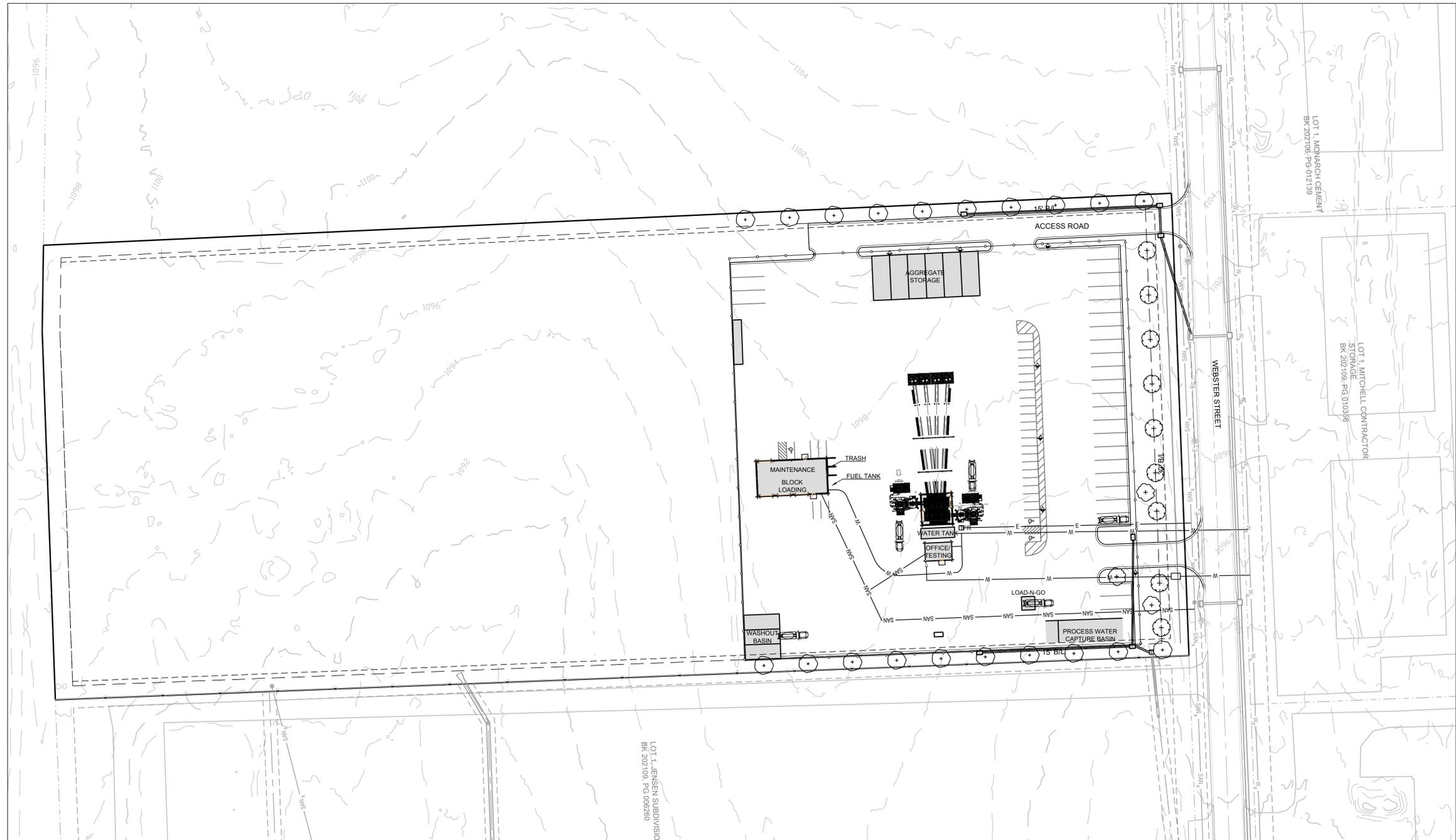


SCALE: 1" = 60'

BASIS OF BEARINGS:
Kansas State Plane Coordinate System (NAD)1983, Kansas, North Zone.

LEGEND:

- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR W/LS-54 CAP
- EXISTING PLAT AND RW LINES
- EXISTING LOT AND PROPERTY LINES
- LNA - LIMITS OF NO ACCESS
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- G_s - GAS LINE
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- ⊕ FIRE HYDRANT
- ⊕ LIGHT OVERHEAD
- ⊕ POWER PEDESTAL
- ⊕ SANITARY MANHOLE
- ⊕ WATER VALVE
- CURB & GUTTER 24" CONCRETE



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES					
⊕	QS	9	QUERCUS SHUMARDII / SHUMARD OAK	2.5" CAL.	B&B
⊕	TE	20	TILIA AMERICANA 'REDMOND' / REDMOND AMERICAN LINDEN	2.5" CAL.	B&B
FLOWERING TREES					
⊕	SRI	3	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	8' HT.	B&B

LANDSCAPE DATA

ZONING	M-1
SITE ZONING	M-1
ADJACENT ZONING NORTH AND SOUTH	ROADS
ADJACENT USE EAST AND WEST	
FRONTAGE TREES SECTION 17.358.D.1	
WEBSTER STREET FRONTAGE SHADE TREES REQUIRED (1 TREE PER 50')(454.07/50')	9 TREES
WEBSTER STREET FRONTAGE SHADE TREES PROVIDED	9 TREES
LANDSCAPE OPEN SPACE TREES SECTION 17.358.D.2	
ONLY REQUIRED FOR AG-C-2	N/A
PERIMETER LANDSCAPE SECTION 17.358.D.3	
NORTH BNDY. TREES REQ. IF NO BUFFER REQ. PER SECTION 17.360 THEN 1 TREE PER 50'(501.41/50')	10 TREES
NORTH BNDY. PERIMETER TREES PROVIDED	10 TREES
SOUTH BNDY. TREES REQ. IF NO BUFFER REQ. PER SECTION 17.360 THEN 1 TREE PER 50'(500.98/50')	10 TREES
SOUTH BNDY. PERIMETER TREES PROVIDED	10 TREES
PARKING LOT LANDSCAPE SECTION 17.358.D.4	
LANDSCAPE REQUIRED 1 TREE PER 20 SPACES PLUS GRASS OR SHRUBS(54 SPACES/20)	3 TREES
LANDSCAPE PROVIDED	3 TREES/GRASS
PARKING LOT INTERIOR LANDSCAPE SECTION 17.358.F.1	
LANDSCAPE REQUIRED 6% MIN LANDSCAPE (54 SPACESx270)14,580x.06	874.8 SF.
LANDSCAPE PROVIDED	875 SF.
STREET TREES SECTION 17.358.G.1	
SINCE FRONTAGE TREES REQ. NO STREET TREES REQ.	N/A
BUFFER SCREENING LANDSCAPE SECTION 17.360. G	
ADJACENT TO ROADS AND SAME ZONING SO NO BUFFER SCREEN REQ.	N/A
BUILDINGS PROVIDE SCREEN TO INTERIOR OF SITE	

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

**OSZARK READY MIX - SPRING HILL
SITE PLAN
WEBSTER SPRING HILL, KANSAS**

REVISION DATE	DESCRIPTION
10/20/2025	SITE PLAN

LANDSCAPE PLAN

SHEET
L1

Project	Catalog #	Type	SL1-4
Prepared by	Notes	Date	



McGraw-Edison

GLEON Galleon

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 LPW
- Options to meet Buy American and other domestic preference requirements

Dimensional Details

Number of Light Sources	7' Width	8' Standard Arm Length	10' Extended Arm Length	10' OM Arm Length	10' OAL Length	10' OMEA Length
1-4	15-1/2"	7'	10'	10-5/8"	--	16-9/16"
5-6	21-5/8"	7'	10'	10-5/8"	--	16-9/16"
7-8	27-5/8"	7'	13'	10-5/8"	10-5/16"	--
9-10	33-3/4"	7'	16'	--	10-5/16"	--

NOTES:
1. For arm selection requirements and additional line art, see Mounting Details section.
2. IAA Certified for 3500K CCT and warmer only.



PS530303EN Page 1
August 8, 2024 1:53:31 PM

Project	Catalog #	Type	S
Prepared by	Notes	Date	



McGraw-Edison

GWC Galleon Wall

Wall Mount Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 5

Quick Facts

- Choice of thirteen high-efficiency, patented AcouLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

Dimensional Details

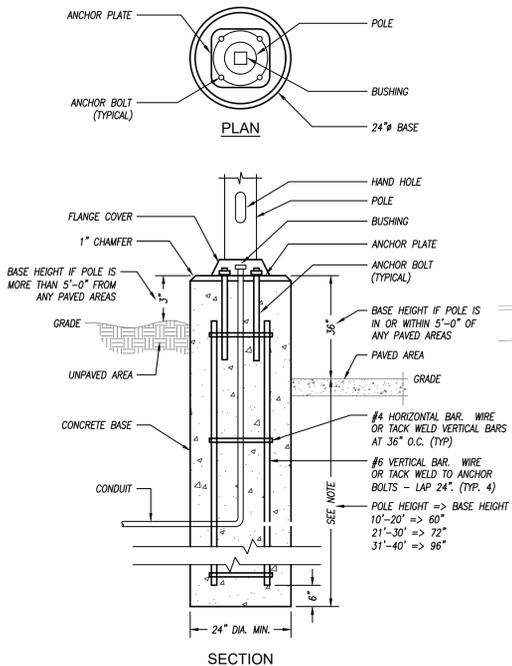
Net Weight: 17.0 lbs (7.7 kg)

Configuration	Width	Height
GWC with CRP option installed	15-11/16" [400mm]	6-1/2" [164mm]
GWC with accessory BG/GWCXX Back Box installed	15-11/16" [400mm]	6-1/2" [164mm]

NOTES:
1. For arm selection requirements and additional line art, see Mounting Details section.
2. IAA Certified for 3500K CCT and warmer only.



PS530304EN Page 1
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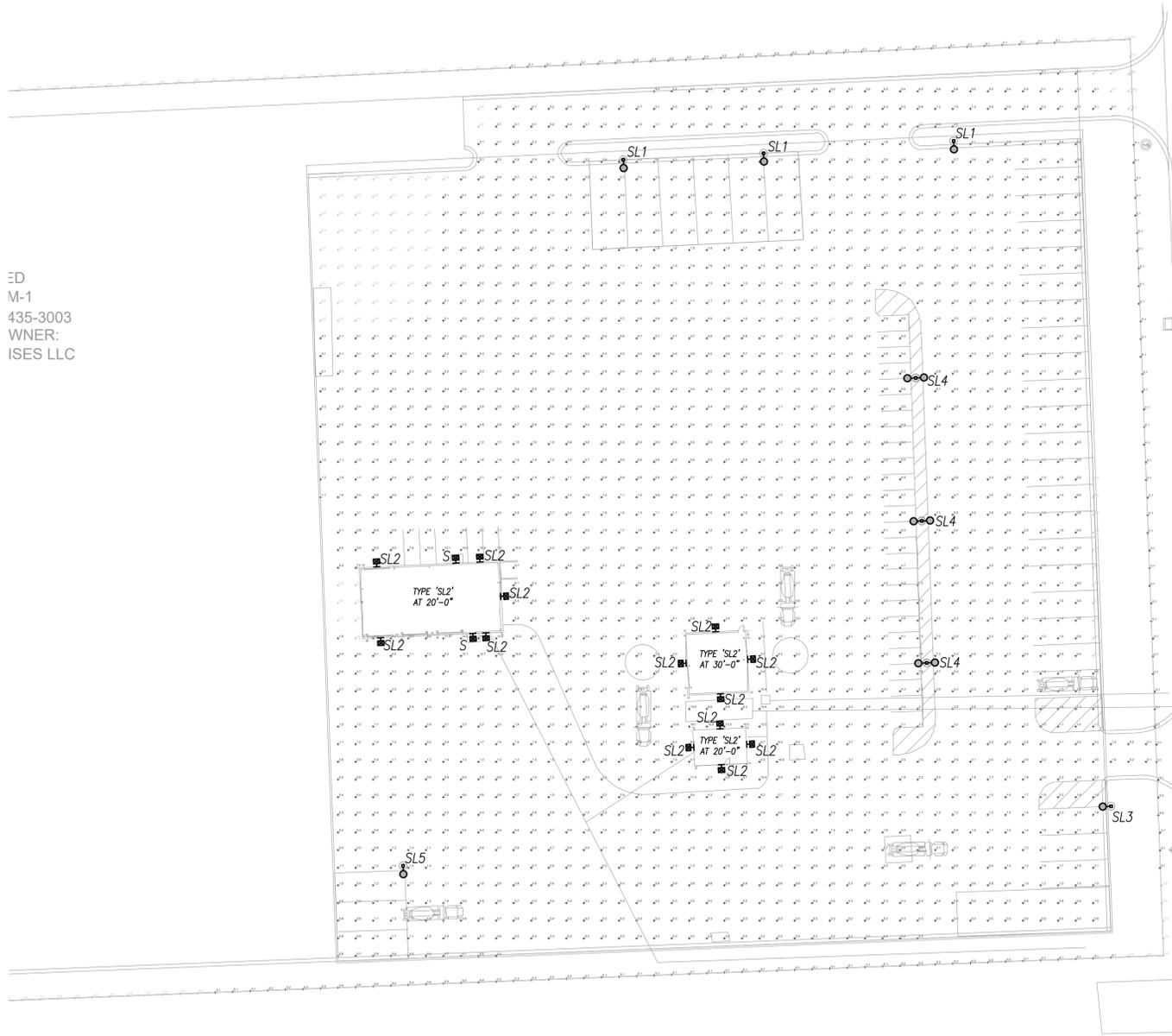


PARKING LOT STATISTICS

DESCRIPTION	MAINTAINED LIGHTING LEVELS			UNIFORMITY	
	AVG. (F.C.)	MAX. (F.C.)	MIN. (F.C.)	MAX. / MIN.	AVG. / MIN.
OVERALL SITE PAVEMENT	2.2	18.1	0.0	--	--
PARKING LOT (CARS)	4.2	7.5	2.3	3.3 : 1	1.8 : 1
PARKING LOT (TRUCKS)	2.2	7.6	0.4	19.0 : 1	5.5 : 1
PROPERTY LINE	0.1	0.4	0.0	--	--

NOTES:
1. NUMBERS INDICATE FOOTCANDLE LEVELS AT GRADE.
2. CALCULATIONS PERFORMED USING VISUAL 2020 R2.

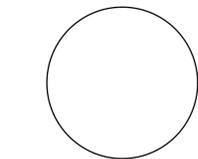
ED
M-1
435-3003
WNER:
ISES LLC



FLOOR PLAN - SITE PHOTOMETRICS
1" = 40'-0"

LIGHT FIXTURE SCHEDULE - SITE LIGHTING

FIXTURE TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LED MODULE / DRIVER						
				ID	WATTS	LUMENS	CRI	CCT	DIMMING	VOLTAGE
S	MCGRAW-EDISON	GALLEON LED GWC WALL	EXTERIOR WALL-MOUNTED FIXTURE. DIE-CAST ALUMINUM HOUSING. SQUARE DIFFUSED TEXTURED TEMPERED GLASS LENS. TYPE (N) WIDE OPTICS. INTEGRAL LED DRIVER. POWDER COAT FINISH DARK BRONZE - COORDINATE WITH ARCHITECT/BUILDING OWNER. UL LISTED WET LOCATION.	S41C	60	5961	70	3500K	NO	277
SL1	MCGRAW-EDISON	GALLEON LED GLEON SERIES	POLE-MOUNTED AREA LIGHT. LOW-PROFILE, ONE-PIECE DIE-CAST ALUMINUM HOUSING. LIGHT SQUARE LED ARRAYS - REFER TO LAMP DESCRIPTION FOR QUANTITY. IES TYPE IV FAR THROW DISTRIBUTION. DIE CAST ALUMINUM MOUNTING ARM. PROVIDE WITH 30" HIGH, SQUARE STRAIGHT STEEL POLE. POWDER COAT FINISH DARK BRONZE - COORDINATE EXACT COLOR WITH ARCHITECT AND OWNER.	S44C	226	26,141	70	3500K	NO	277
SL2	MCGRAW-EDISON	GALLEON LED GLEON SERIES	SAME AS TYPE 'SL1' FIXTURE, EXCEPT FIXTURE IS WALL MOUNTED AT THE HEIGHT SHOWN ON PLANS.	S44C	226	26,141	70	3500K	NO	277
SL3	MCGRAW-EDISON	GALLEON LED GLEON SERIES	SAME AS TYPE 'SL1' FIXTURE, EXCEPT FURNISH WITH HSS OPTION (HOUSE SIDE SHIELD).	S44C	226	26,141	70	3500K	NO	277
SL4	MCGRAW-EDISON	GALLEON LED GLEON SERIES	POLE-MOUNTED AREA LIGHT. LOW-PROFILE, ONE-PIECE DIE-CAST ALUMINUM HOUSING. LIGHT SQUARE LED ARRAYS - REFER TO LAMP DESCRIPTION FOR QUANTITY. IES TYPE IV WIDE THROW DISTRIBUTION. DIE CAST ALUMINUM MOUNTING ARM. PROVIDE WITH 30" HIGH, SQUARE STRAIGHT STEEL POLE. MOUNT (2) FIXTURE HEADS 180 DEGREES APART. POWDER COAT FINISH DARK BRONZE - COORDINATE EXACT COLOR WITH ARCHITECT AND OWNER.	S44C	452	51,606	70	3500K	NO	277
SL5	MCGRAW-EDISON	GALLEON LED GLEON SERIES	SAME AS TYPE 'SL1' FIXTURE, EXCEPT LOWER LIGHT OUTPUT.	S42C	108	13,180	70	3500K	NO	277



PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
13300 W 98TH STREET
LENEXA, KS 66215
913.492.2400
WWW.PKMRENG.COM

OZARK

ISSUED FOR:

DESCRIPTION	DATE
1	
2	
3	

© PEARSON KENT MCKINLEY RAAF ENGINEERS, LLC
DRAWN BY:
CHECKED BY:

SHEET TITLE:
SITE PHOTOMETRICS

DATE: **12.10.2025** PKMR PROJECT: **25.393**

SHEET NUMBER:
PE1.00

Engineering Department

The Site Plan submitted by Ozark Ready Mix includes two entrances to provide circulation for their concrete trucks. These site plan provides adequate space for the concrete trucks to maneuver within the site. Although their parking requirements are low based on the size of the proposed buildings, Ozark Ready Mix will provide additional parking to accommodate the anticipated parking needs for the employee and truck parking.

The stormwater will be collected on-site with the proposed curb & gutter, directed to the curb inlets located within the parking lot. The proposed private storm sewer will connect into the existing public storm system located along Webster Street. The applicant will need to submit a separate Public Improvement Permit, and associated engineering drawings, to install the public storm inlet for the connection to the existing public system. The review of the Public Improvements Plans can occur concurrent with the Site Plan Review prior to permit. The Public Improvements will need to be installed and accepted by the City prior to issuance of temporary certificate of occupancy.

Ultimately, the stormwater will discharge into the existing wet detention basin located about 0.5 miles south of 183rd Street. Additional stormwater calculations will be required in a Final Stormwater Study, to ensure that the size of the existing basin is sufficient to handle the additional runoff from the proposed site.

The applicant plans to store aggregate materials along the northern portion of the site. Additional details will need to be submitted for the Aggregate Storage Area prior to issuance of a permit. There are concerns that this area may impact the adjacent stormwater system. Water quality measures may need to be installed to ensure that the runoff is in compliance with the City's new Municipal Separate Stormwater System (MS4) and KDHE stormwater requirements.

The applicant plans to provide a concrete washout basin in the southwest corner of the site. This area will serve as a washout basin for the concrete trucks to wash out residual material when returning to the site. Additional details will need to be submitted for the Washout Basin prior to issuance of a permit. There are concerns that this area will impact the adjacent stormwater system. Water quality measures may need to be installed to ensure that the runoff is in compliance with the City's new Municipal Separate Stormwater System (MS4) and KDHE stormwater requirements.

The applicant plans to provide a process water capture basin in the southeast corner of the site. Additional details will need to be submitted for the Process Water Capture Basin prior to issuance of a permit. There are concerns that this area will impact the adjacent stormwater system. Water quality measures may need to be installed to ensure that the runoff is in compliance with the City's new Municipal Separate Stormwater System (MS4) and KDHE stormwater requirements.

The applicant plans to provide a fueling tank along the southern portion of the site. Additional details will need to be submitted for the Fuel Tank prior to issuance of a permit. There are concerns that this area will impact the adjacent stormwater system. Water quality measures may need to be installed to ensure that the runoff is in compliance with the City's new Municipal Separate Stormwater System (MS4) and KDHE stormwater requirements.

The Engineering staff has reviewed the overall site plan. Minor plan review comments have been provided to the application in a separate memo. In addition to the completion of the plan review comments, the administrative items outlined in the stipulations will need to be submitted prior to issuance of a permit.

The Engineering Department recommends approval of this application with the following stipulations:

1. Address the plan review comments as outlined by the Engineering Department, dated 12/31/25. Engineering will review the plans for approval prior to issuance of a construction permit.
2. Concurrent with the site plan submittal, submit a separate Public Improvement Permit and associated engineering drawings. The public improvements must be installed and accepted by the City prior to the issuance of temporary certificate of occupancy.
3. Concurrent with the site plan submittal, submit a revised Final Stormwater Study, including the impact of the proposed development on the existing detention basin.
4. Concurrent with the plan submittal, provide additional details associated with the Aggregate Storage area.
5. Concurrent with the plan submittal, provide additional details associated with the Washout Basin area.
6. Concurrent with the plan submittal, provide additional details associated with the Process Water Capture Basin area.
7. Concurrent with the plan submittal, provide additional details associated with the Fuel Tank area.

8. Prior to issuance of a permit, submit a copy of the Industrial Stormwater Pollution Prevention Plan outlining the long-term operations and maintenance of the industrial site.
9. Prior to issuance of a permit, provide a copy of the signed permit from KDHE approving the Industrial Stormwater Permit.
10. Prior to issuance of a permit, submit a copy of the Stormwater Pollution Prevention Plan outlining the erosion and sediment control requirement during the construction phase.
11. Prior to issuance of a permit, provide a copy of the signed permit from KDHE for the Notice of Intent necessary for any land disturbance activities.